



NORTHCROSS
DESIGN
GUIDELINES

The Crosland Group, Inc.



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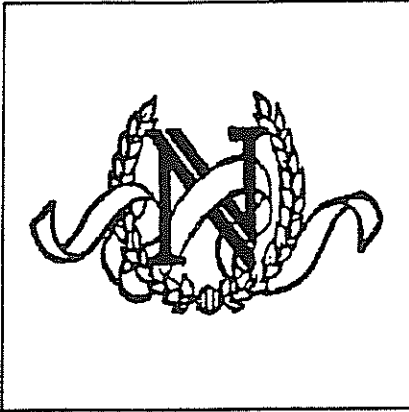
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I. INTRODUCTION

A. Philosophy

These Guidelines have been developed to implement the design philosophy of NorthCross, namely, to blend structures and landscaping into a harmonious and aesthetically pleasing commercial community. These Guidelines are intended to provide direction to Owners and builders in the planning, design and construction of their buildings and parking areas.

The purpose of these Guidelines is not to create look-alike buildings or other Improvements, or to suggest that all buildings employ exactly the same colors, styles and materials. Rather, the primary emphasis of NorthCross is upon quality of design and compatibility among all Improvements without unduly restricting Lot Owners' ability to exercise individuality in their choice or design of a building. The Committee will be open to and encourage creativity, innovative use of materials and design and unique (if appropriate) methods of construction as long as the final result is consistent with the spirit of these Guidelines and the guiding philosophy of NorthCross.

B. Authority

These Guidelines are established by the Architectural Design Committee (the "Committee") pursuant to the Declaration of Covenants, Conditions and Restrictions for NorthCross (the "Declaration"). Any capitalized terms in these Guidelines not defined herein shall have the same meaning as more specifically set out in the Declaration. The Committee reserves the right to amend any or all provisions of these Guidelines as appropriate at any time and from time to time, in its sole and absolute discretion.

These Guidelines are in addition to specific construction and landscaping requirements set out in Article VII of the Declaration.

C. Applicability to All Lots

As to any Lot in NorthCross, no improvements may be commenced, erected or maintained until the Committee has given its written approval of Final Plans pursuant to the criteria listed below.

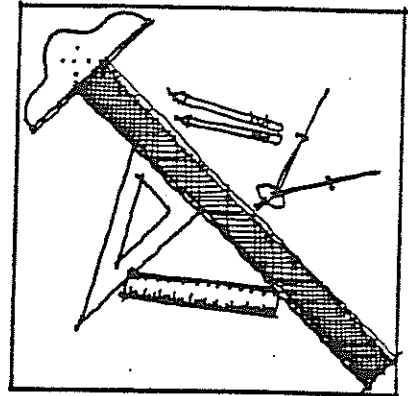
These Guidelines shall apply to all Owners and builders at NorthCross, and any reference herein to an "Owner" shall also apply to the Owner's builder, subcontractors, or agents.



D. Advisory Design Professionals

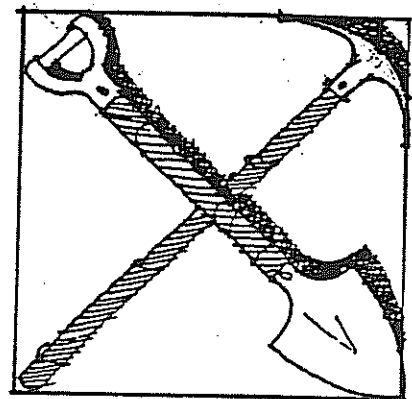
The Committee may retain an Architect and/or other design and construction professionals to advise the Committee in the plan review and approval process. Lot Owners and builders may wish to consult with these professionals on a preliminary, informal basis with questions about the design intent of these Guidelines and their application to the overall design or design features of buildings and landscaping.

Since these professionals will be advisors only, their views and opinions will be considered by, but will not be binding on, the Committee.



E. Definition of "Improvements"

The term "Improvements" shall mean and include any and all man-made changes or additions to a Lot, including but not limited to the location, materials, size and design of all buildings (including any exterior devices attached to or separate from buildings, such as heating and air conditioning equipment, roofed structures, parking areas, fences, walls, landscaping (including cutting of trees), hedges, mass plantings, poles, driveways, ponds, changes in grade or slope, site preparation, signs, exterior illumination and changes in any exterior color or shape. The definition of Improvements includes both original Improvements and all later changes to Improvements. However, the definition of Improvements does not include the replacement or repair of Improvements previously approved by the Committee, provided that such replacement or repair does not change exterior colors, materials, designs or appearances from that which were previously approved by the Committee.



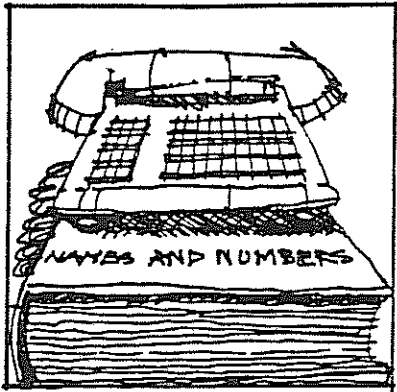
F. Design Standards

The following statements and standards shall be explanatory and illustrative of the general intent of the development of NorthCross, and are intended as a guide to assist the Committee in reviewing preliminary plans, the Final Plans and other submittals.

G. Liability of Declarant & Committee

Neither Declarant nor the Committee shall be responsible for any losses or damages arising out of the construction of the Improvements permitted under these Guidelines, nor shall the Committee's approval of any plans, specifications or other submissions be deemed a representation or warranty by the Committee or its agents regarding the design, materials or any other aspect of the development depicted in such submissions.





H. Zoning & Other Governmental Regulations

In addition to complying with the requirements imposed by this Declaration, the Owner of any Lot must comply with all zoning and other applicable governmental laws, rules and regulations. Approvals by the Committee pursuant to these Guidelines shall in no event be construed as representations or warranties that the Owner's plans, Final Plans or Improvements comply with any such governmental requirements.

The Huntersville review authorities may be contacted at:

Office of the Town of Huntersville
875-6541

II. REVIEW PROCEDURES

A. Review Process

A project is reviewed and monitored through three basic stages of its development:

1. Schematic
2. Final Plans & Specifications
3. Construction

The lot owner, at its expense, shall submit to the Committee for review three (3) complete blue-line sets of documents during the design stages of the review process. Document format is explained further on in these guidelines.

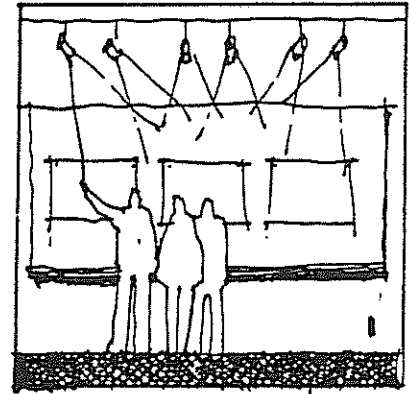
Schematic: The lot owner must submit information pertaining to the use, size, location, and character of its development. A site plan showing building location, general landscape areas, service areas, pedestrian and vehicular circulation and all applicable setbacks and easements is required along with the above information. A schematic elevation(s) showing building form, materials, colors, and signage shall also be provided. The Committee's review should normally take one to two weeks from receipt of documents.

Final Plans & Specifications: The Committee will review Final Plans and Specifications ("Final Plans") for conformance with commitments made in the Schematic Phase. The Final Plans submittal shall be accompanied by the Architectural Review Committee Fee, as has been set by the Committee as of the date the Owner submits its Final Plans. The Architectural Review Fee, as of the effective date of these Guidelines, is \$500.00 and must be paid upon initial submittal.

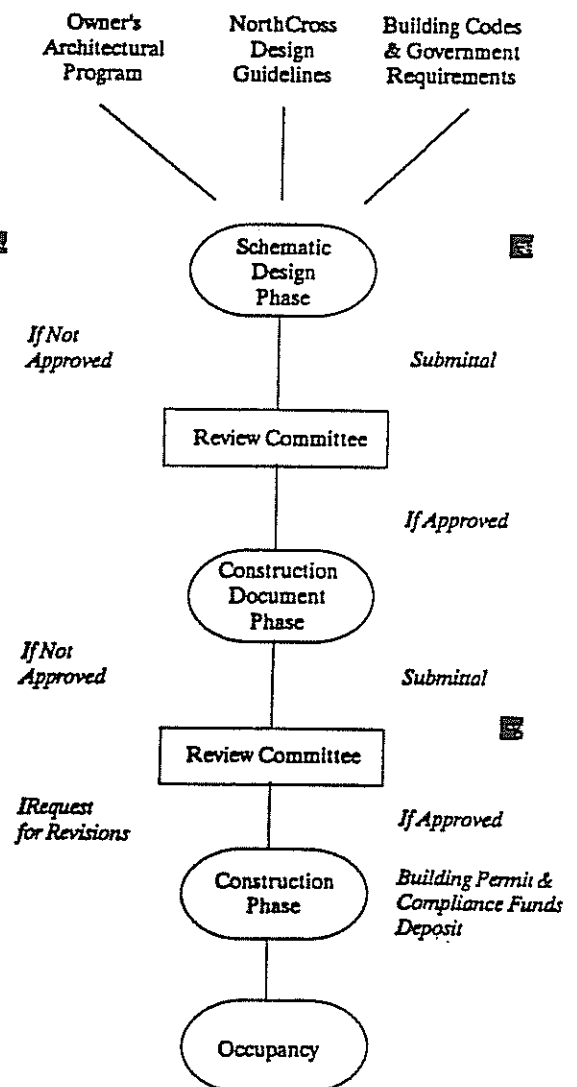
Construction: The Lot Owner shall construct its project in conformity with the information and plans approved by the Committee in the previous stages of the review process. A \$500 per acre, minimum \$2,000, compliance fund is to be paid prior to construction and clean up to assure a follow through of construction consistent with approved designs. This will be reimbursed upon acceptable completion of construction, less any amount required by the developer to complete any construction clean up or similar required completion.

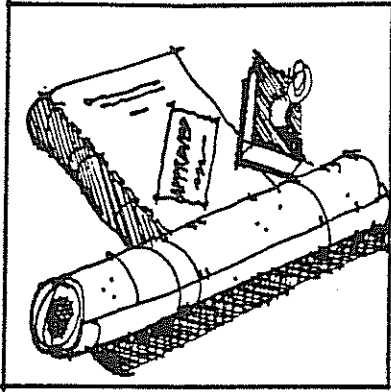
The Committee shall review the Schematic and Final Plans and return them to the Owner marked "Approved" or "Disapproved" as the case may be, with any appropriate review comments.

The Committee may disapprove of any preliminary plans, location and style of Improvements, exterior colors or finishes or other specifications for any reason including purely aesthetic reasons, in the sole discretion of the Committee.



THE REVIEW PROCESS





Final Plan Approval: Final Plans and Specifications for all Improvements proposed to be constructed on any Lot shall be submitted in triplicate to the Committee for approval or disapproval.

If found not to be in compliance with these Guidelines or if found to be otherwise unacceptable to the Committee, one set of Final Plans shall be returned to the Owner marked "Disapproved", accompanied by a written statement of items found not to be in compliance with these Guidelines or otherwise unacceptable.

At such time as the Final Plans meet the approval of the Committee, two complete sets of Final Plans will be retained by the Committee and the other complete set of Final Plans will be marked "Approved" and returned to the Owner. Once the Committee has approved the Final Plans for Improvements, the construction of such Improvements must be promptly commenced and diligently pursued to completion, and if such construction is not commenced within six (6) months following the date of approval of the Final Plans, by the Committee, such approval shall be deemed rescinded and before construction of Improvements can thereafter be commenced. The Plans must again be approved by the Committee pursuant to this Paragraph.

Any modification or change to the "Approved" set of Final Plans must again be submitted in triplicate to the Committee for its review and written approval.

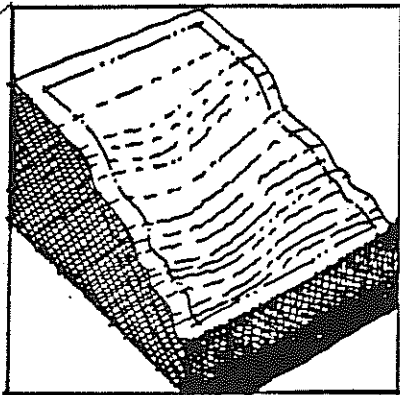
The Owner may proceed with construction work on the Lot after the Committee has approved in writing the Owner's plans for that portion of the work.

Failure of the Committee to Act: If the Committee fails to approve or disapprove any Final Plans or other submittals which conform with the requirements hereof or to reject them as being inadequate or unacceptable within sixty (60) business days after receipt thereof, and provided such submittal was a full and complete submittal, the submittal will be deemed "approved."

B. Document Requirements

1. Survey

If required by the Committee, the Owner shall provide the Committee with a "survey" prior to the review of documents in the schematic phase of development. The "survey" shall be obtained by the Owner. The "survey" shall be prepared by a licensed land surveyor and shall be made in accordance with the "Minimum Standard Detail Requirements for Land Title Surveys" jointly established and adopted by ATA and ACSM in 1962. In addition, the "land title survey" shall include, but not be



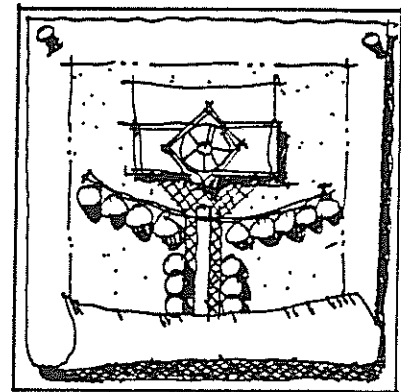
limited to, the following: parcel zoning classification, setback or building restriction lines, and the acreage of the parcel, underground and other utilities, topography, easements, major vegetation, etc.

2. Architectural Site Plan

The minimum information required for each stage of the review process is as follows:

a. Schematic:

- Title, date, architect, lot owner, and sheet number.
- North arrow
- Scale
- Approximate building area
- Parking Data: Number and ratio required by code, number and ratio provided, size of stalls and aisles.
- Acreage
- Location of any view corridors, building setbacks, property lines, easements and other restrictions on the property
- Circulation features within the property and location of parking areas.
- Grading plans sufficient to indicate proposed grades for entire property development, including preliminary building floor elevations.
- Property lines, easements, and prominent existing physical features to remain.
- Location and number of all signs.
- Utilities and utility locations.
- Site lighting.



b. Final Plans: All information required in design development stage.

c. Construction: Certified "as built" survey showing all above and below grade improvements.



3. Landscaping Site Plan

The minimum information required for each stage of the review process is as follows:

a. Schematic:

- Site plan must indicate areas to be landscaped. (Information may be shown on "Architectural Site Plan" for this phase in lieu of a separate landscaping plan.)
- Plan at a scale of 1"=30' or larger. Details and special plan areas may be shown at a larger scale.
- North Arrow
- Date
- Architect and Lot Owner
- Project Name
- Dimensions, property lines, easements, contour lines, elevations, and prominent physical features.
- Location of building(s), driveways(s), curb cut(s), parking, pedestrian, and service areas.
- Location and types of hard construction materials, furniture, lighting and other amenities.
- Irrigation - Indicate type of system and irrigated areas.
- Plant and Ground Cover Materials - Show quantity, type, size and location of material.

b. Final Plans:

- All above information
- Landscaping budget expenditure

4. Building Plans

The minimum information required for each stage of the review process is as follows:

- #### a. Schematic:
- Information required may be shown on site plans for this phase, in lieu of a separate building plan.

- Project Name, Architect, Lot Owner, Date and Sheet Number
- North Arrow
- Floor Plan Scale at 1/8" - 1'-0" min.
- Building Data: Type and use, number of seats when applicable, building area (by use).
- Elevations (any available three-dimensional drawings).
- All proposed signage on building.
- Samples of actual materials to be used reflecting accurate colors.

b. Final Plans:

- All above information
- Final construction documents (including specifications).
- Name and address of Owner's agent responsible for implementation of the construction.

5. Signage

The minimum information required for each stage of the review process is as follows:

a. Schematic:

- Plan showing size and location of all proposed signs. The Lot Owner shall be fully responsible for conforming to all applicable ordinances.
- Elevation showing all dimensions, material, colors, and method of illumination.
- Photographs of identical or similar signs from previous projects, if available.

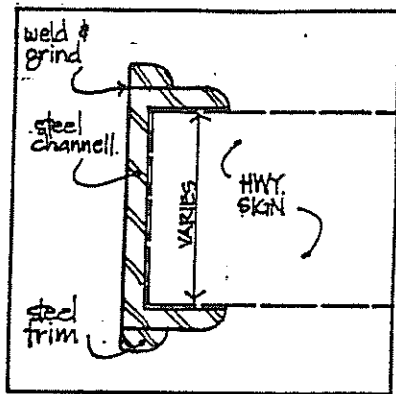
b. Final Plans:

- A Final Plan submission is not necessary for the Signage portion of the documents. All signs must conform to the designs as approved.

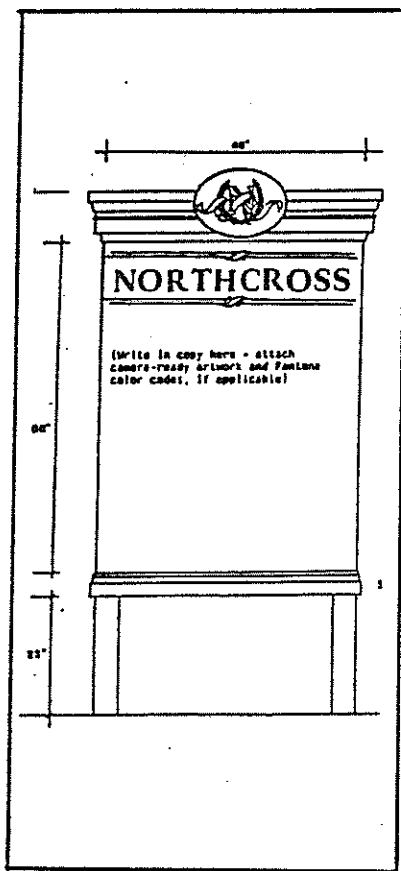
III. SIGNAGE STANDARDS

		Development Site Signage	Parcel Site Signage	Building Wall Signage
DISTRIBUTION CENTER	<i>Size</i>	Max. area of 50 sf	Max. area 48 sf; max. ht. 4'-0". Changeable copy max. 12 sf or 25% of sign face.	Max. area 48 sf; May not exceed 10% of wall.
	<i>Location</i>	30" from R.O.W. at primary entrance to development	At primary entrance to parcel; 5' inside R.O.W.	On vertical wall face, not projecting above parapet.
	<i>Materials</i>	Masonry base to match those appearing on buildings	Masonry base to match those appearing on bldgs	Internally illuminated individual letters.
CORPORATE CENTER	<i>Size</i>	Max. area of 50 sf; Max height 4'-0" on 3'-0" max ht. base.	Max. area 48 sf; max. ht. 4'-0". Changeable copy max. 12 sf or 25% of sign face.	Max. area 48 sf; May not exceed 10% of wall.
	<i>Location</i>	30" from R.O.W. at primary entrance to development	At primary entrance to parcel; 5' inside R.O.W.	On vertical wall face, not projecting above parapet.
	<i>Materials</i>	Masonry base to match those appearing on buildings	Masonry base to match those appearing on bldgs	Internally illuminated individual letters.
NEIGHBORHOOD OFFICE	<i>Size</i>	Max. area of 50 sf; Max height 4'-0" on 3'-0" max ht. base.	Max. area 50 sf; 1 sf/every 2 lf of front wall; max. ht. 4' on 3'-0" max. ht. base.	Max. area 48 sf; May not exceed 10% of wall.
	<i>Location</i>	30" from R.O.W. at primary entrance to development	At primary entrance to parcel; 5' inside R.O.W.	On vertical wall face, not projecting above parapet.
	<i>Materials</i>	Masonry base to match those appearing on building.	Masonry base to match those appearing on bldgs	Internally illuminated individual letters.
HIGHWAY BUSINESS	<i>Size</i>	N/A	Max. area 100 sf; Max. height 30'.	Max area 128 sf; May not exceed 10% of wall area.
	<i>Location</i>	N/A	15' inside R.O.W.	On vertical wall fact not projecting above parapet.
	<i>Materials</i>	N/A	Steel tube pole; gloss white industrial enamel finish (see detail next page).	Internally illuminated; permanent, durable.
SHOPPING CENTER OUTPARCELS	<i>Size</i>	N/A	Max. area 50 sf; Max ht. 4' on max ht. 3' base;	Max. area 128 sf; may not exceed 10% of wall area.
	<i>Location</i>	N/A	10' inside R.O.W.	On vertical wall face, not projecting above parapet.
	<i>Materials</i>	N/A	Internally illuminated, two sides; permanent, durable.	Internally illuminated; permanent, durable.
SHOPPING CENTER	<i>Size</i>	N/A	Community center. Max area 150 sf; max ht. 30'; Neighborhood Ctr. Max. area 128'; max ht. 30'.	Anchor Max. area 128 sf; Max letter ht. 5'; Locals: Max. area 100 sf; Max. letter ht. 30". May not exceed 10% of wall.
	<i>Location</i>	N/A	One/street front; 10' behind R.O.W.	On vertical wall face, not projecting above parapet.
	<i>Materials</i>	N/A	Permanent and durable.	Internally illuminated; Permanent, durable. Uniform in color.
MULTI-FAMILY	<i>Size</i>	Max. area of 50 sf	N/A	N/A
	<i>Location</i>	30" from R.O.W. at primary entrance to development	N/A	N/A
	<i>Materials</i>	Masonry base to match those appearing on buildings	N/A	N/A

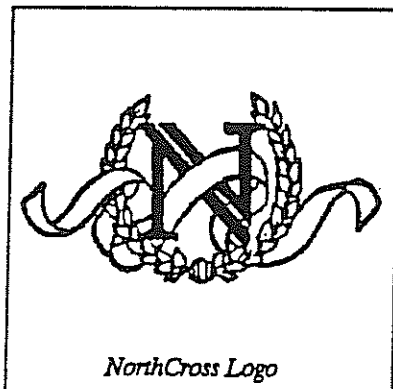




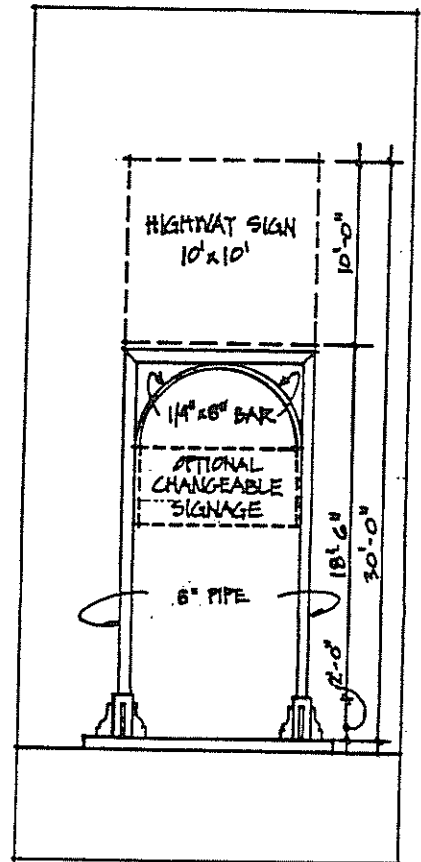
"Frame" at Perimeter of
Tenant's Highway Business Sign



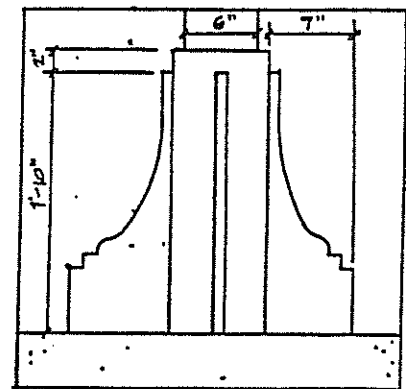
Construction Sign



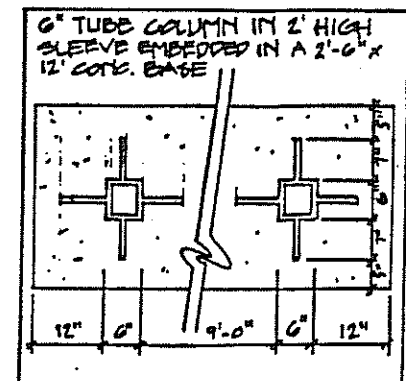
NorthCross Logo



Highway Business Sign



Highway Business Sign Base Detail



Highway Business Sign Base Plan



IV. DESIGN & CONSTRUCTION STANDARDS

A. Site Development

1. Site Access & Traffic Flow

- a. *Drive-thru facilities* should allow for sufficient vehicle stacking distance and should be remote from parcel access points.

Drive-thru facilities should allow for 100' of vehicle stacking around buildings (as required by the Zoning Ordinance).

- b. *All two-way access* shall be via 24'-0" wide (face to face of curb) curbed driveways.
- c. *All one-way access*, when required, shall be via 12'-0" wide (face to face of curb) curbed driveways.
- d. *All access driveways* shall have a 15'-0" minimum radius.

2. Parking

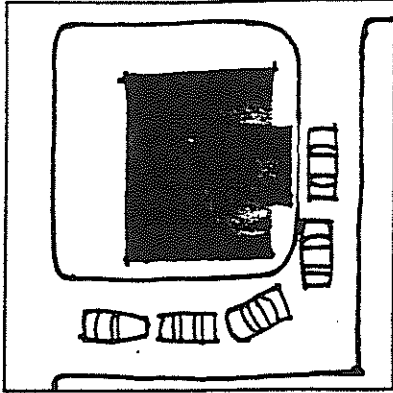
- a. Whenever possible, curbed islands should separate a change in direction of parking stalls and aisles. Use curbed islands for change of direction (see diagram).

b. Striping:

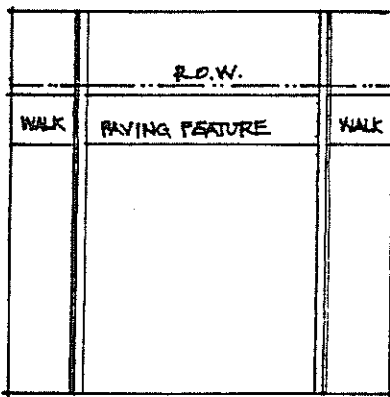
Parking lot striping shall be white in color and 4" in width. Striping shall be maintained in good order. Double striping is recommended.

3. Paving

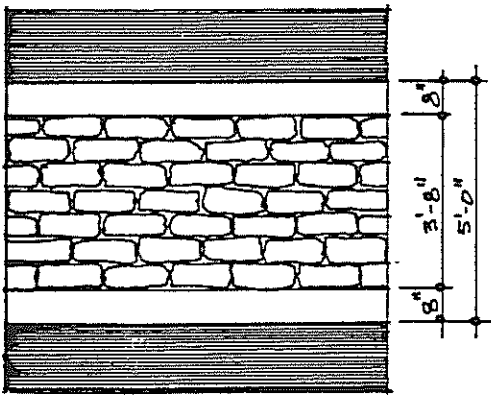
- a. All paved areas shall be adjacent to a concrete curb or curb and gutter section.
- b. Minimum height of curb or curb and gutter above paved areas shall be six (6) inches except in entrances.
- c. At all curb cuts from public roads an entry paving feature shall be provided immediately adjacent to the right-of-way line on the outside of the right-of-way line. The design shall be that shown in the accompanying drawing, and shall be stamped concrete in a running bond cobblestone pattern by Bomanite, or equal (see details at left). Charcoal grey color.
- d. Sidewalks shall be provided at all frontages of public roads immediately adjacent to the right-of-way line. The scoring pattern shall be as shown in the accompanying diagram at left.



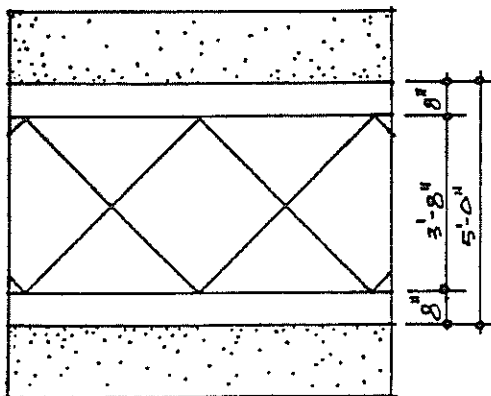
Drive-Thru Stacking



Entry Feature/Sidewalk Location



Curb Cut Entry Detail



Sidewalk Scoring Detail

4. Site Utilities

a. Electric:

- All electric service shall be below grade (with the exception of major transmission lines).
- All electric meters, transformers, etc., should be concealed from public view with plant materials or built screening.

b. Telephone:

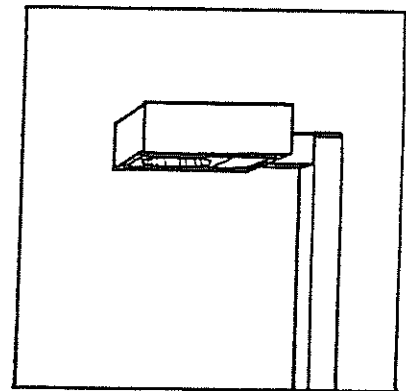
- All telephone service shall be below grade.
- All telephone equipment shall be concealed from public view where possible.

5. Grading & Drainage

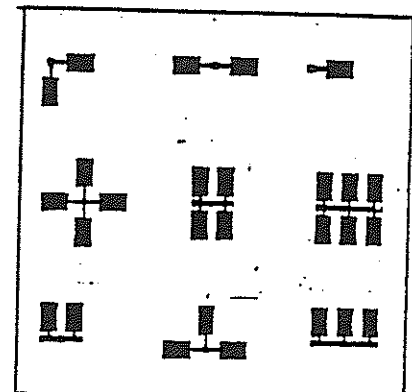
- a. All necessary erosion control methods shall be utilized to avoid siltation onto adjacent properties and into pipelines.
- b. Stockpiling of topsoil or excessive material shall be done so as not to interfere with drainage before, during or after construction.
- c. Existing drainage areas will not be altered during the grading sequence or thereafter unless approved by the Committee.
- d. Parking lot slopes shall be minimum .5% and maximum 5%.

6. Site Lighting

- a. Poles shall be restricted to 30' in height exclusive of base.
- b. Illumination shall be not less than .75 nor more than 1.5 footcandles maintained throughout parking lots.
- c. Poles shall be bronze anodized aluminum.
- d. Luminaries shall be shoe box fixtures.
- e. Light source shall be metal halide.



Shoe Box Fixture



Lighting Configurations Available

7. Landscaping

- a. The following landscape standards shall apply to all parcels. The primary landscaping materials used should be of a quality that will serve to enhance the environment and also serve as a functional part of the project. Shrubbery and ground covers should be used in mass plantings to provide visual effects in color, shapes, and texture while providing screening in needed areas as well as highlighting the architecture of surrounding structures. The interior dimensions of any planting area or planting medium should be sufficient to protect the landscape materials planted therein and to ensure proper growth with attractive appearance.

Irrigation must be supplied to assure the livability of the plant material and ease in the maintenance of the site.

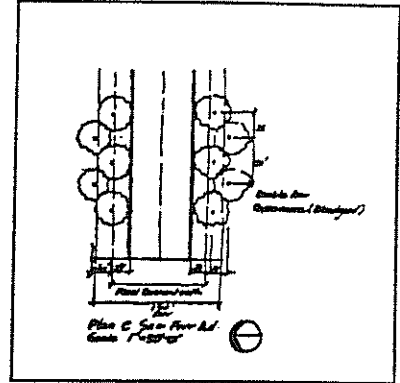
b. Landscape - Design Criteria

■ Minimum Development Size Requirements

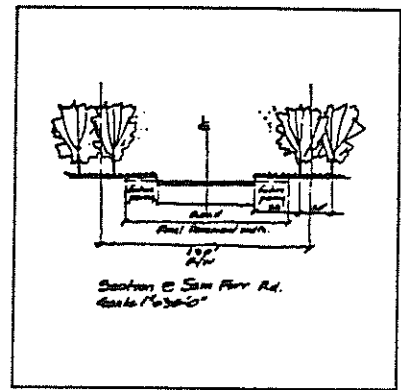
- For each parcel developed, the maximum area for both building and paved area cannot exceed the code-specified percentage of the total parcel. The remaining shall be landscaped with trees, shrubs, and grass.
- Total landscaping expenditures for a lot must be a minimum of 5% of the total building cost. Total landscaping expenditures shall include all in-ground landscaping, irrigation, planters and other landscaping materials.

■ Plant Material Requirements

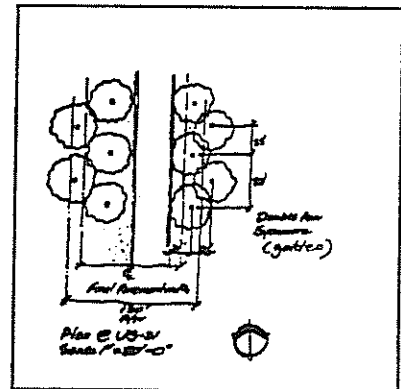
- To the extent practical, existing plant material of appreciable size and character and any other significant landscape features shall be preserved and protected during site construction, and incorporated into the new landscape plan.
- The Owner shall be responsible for providing, protecting, and maintaining all landscaping in a healthy and growing condition; replacing it immediately when necessary with the same type, size and quantity. All landscaped areas shall be maintained to provide clean attractive grounds.



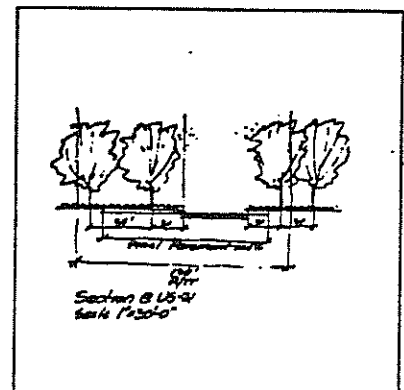
Plan at Sam Furr Road



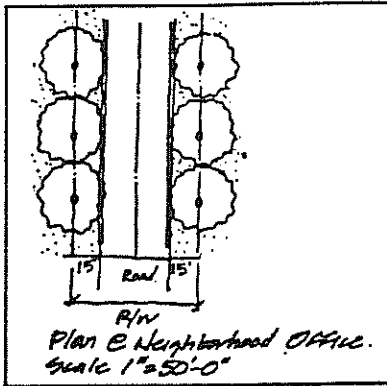
Section 1



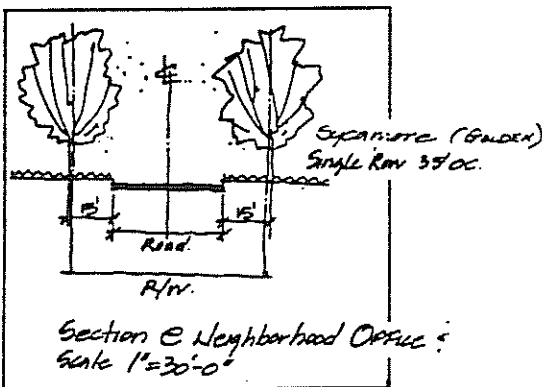
Plan at U.S. 21



Section 2

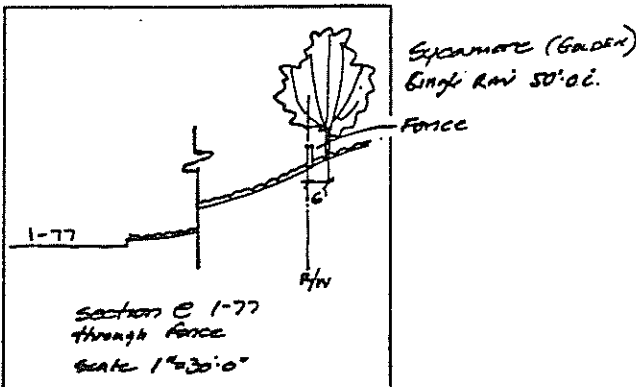


Plan at Neighborhood Office



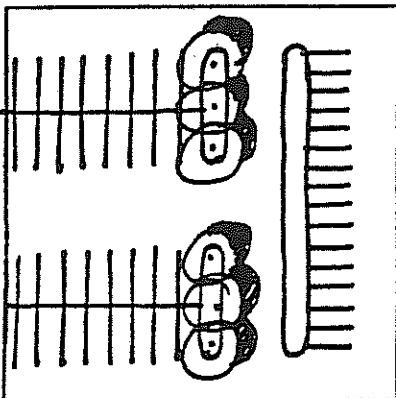
Section at Neighborhood Office
Scale 1"=30'-0"

Section 3



Section at 1-77
through Force
Scale 1"=30'-0"

Section 4



Plant Material

- Trees shall be species having a minimum mature spread of ranging from 15' to 40' and with a minimum mature height of 15' to 60' and installation size of 2½-3" caliber at 6" above base. Evergreens shall have a minimum of 6'-7' in height when installed. Dogwood and flowering trees shall be 2" minimum caliber when installed.
- All shrubs shall be a minimum of 3' in height and 2' in width at installation.
- Grass areas shall be planted with species matching that utilized by the Declarant in public landscaped areas.
- Flower beds are encouraged and shall be planted in acceptable areas to create color, texture and interest at the discretion of the landscape architect.

Landscape Accent Material

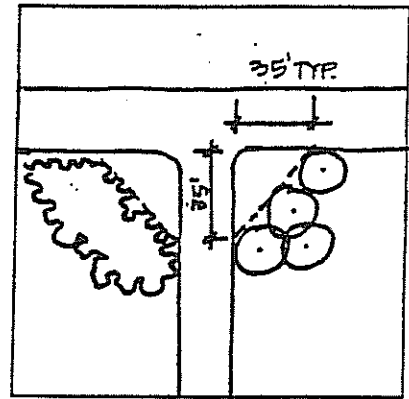
- Site furnishings such as benches, waste receptacles, tables, etc., shall be in character with the building architecture and the surrounding landscaping.
- Paving materials for paths, patios, etc., are recommended to be of porous nature when installed, such as patio bricks, interlocking pavers, or concrete stepping stones.
- Solid concrete paving is recommended to be stamped or scored to form a scaled down, appealing pattern.
- Mulch materials will be of small size and consist of select pine needles as primary mulch, or other organic material best suited and adapted for the local area.
- Edging used to separate grass areas from shrubs, groundcover and mulch shall be a good quality steel edging, secured with metal stakes. No plastic edging will be accepted.

Types of Landscaped Areas

Interior Landscaping in Parking Areas

A minimum of a 6' wide curbed island at the end of every other double row of parking and equal to the parking space length shall be provided.

Where a driveway on the parcel intersects with an access road of NorthCross or a public road, an unobstructed visual triangle of 35' shall be preserved.



Site Distance Triangle

■ Building Landscaping

- ° Landscaping Plans must be prepared by a Landscape Architect for the Owner and accepted by the Committee. The installation of the landscaping must be completed before the building is occupied.

■ Utility Easement Requirements

- ° Large maturing landscaping shall not be planted in utility easement areas.

c. Screening

■ Service Area Screening

- ° Landscaping for a softening effect on a solid screen can be of shrubs or climbing vines which provide color and texture.
- ° All utility service not screened within a solid, screen wall or fence shall have a natural evergreen screen which completely screens the utility service from street and sidewalk view upon installation.

d. Irrigation

- Requirements: A good quality automatic system should be planned for each parcel. Only a minimum amount of water shall be allowed to overspray on sidewalks or other pavements.

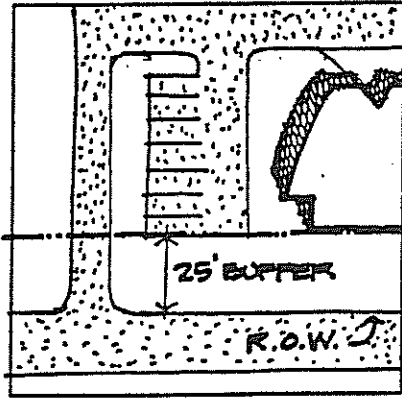
e. Maintenance & Installation

■ Responsibility:

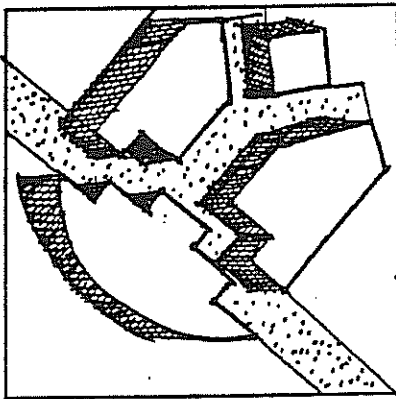
The landowner shall be responsible for installing landscaping according to the master Landscape Plan unless otherwise instructed by developer.

The Owner shall be responsible for providing, protecting, and maintaining all landscaping, except landscaping in Landscaping Easements maintained by the Association, in a healthy and growing condition. The Owner shall replace plant material within two weeks with the same type, size, and quantity when necessary, and keep the grounds free of refuse and debris.





Front Buffer



Interesting Building Massing

B. Building

1. **Setbacks:** All buildings shall be subject to the set back requirements. No building or parking shall occur in the first 25' of property on primary road frontage. For those properties also facing a second road, the minimum setback there shall be 20'. Side yards shall be a minimum of 10'. Rear yards shall be a minimum of 20'.
2. **Architectural Character:** The design of each building should be compatible with or in a clear relationship with the buildings in its vicinity. Details consistent with the intention for the architecture and timeless quality of the buildings within NorthCross are indicated on the following page.
3. **Massing:** Rather than designing a large uninteresting box, it is generally recommended that the building be comprised of smaller well proportioned elements.
4. **Materials**

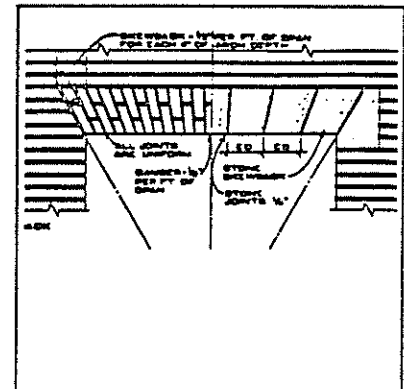
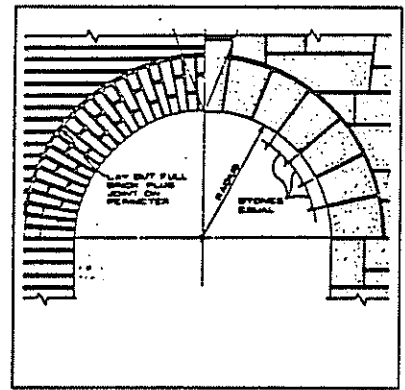
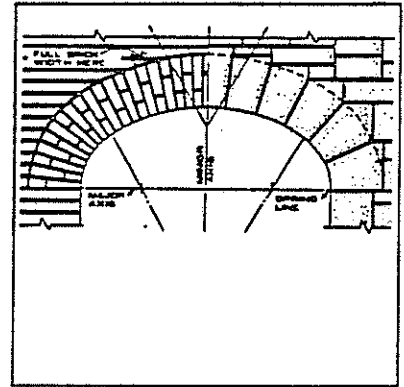
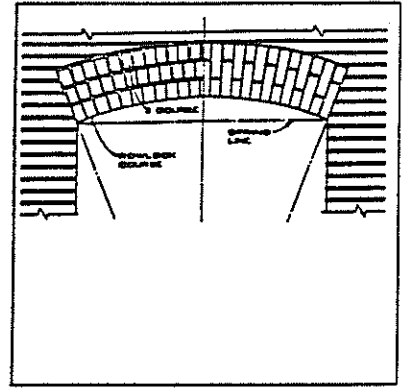
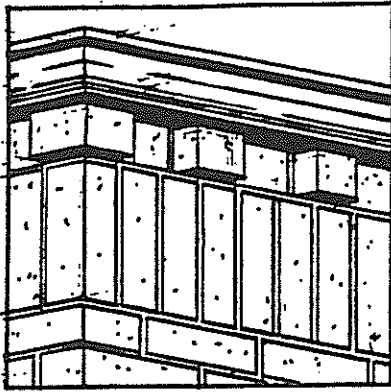
Walls: Primary color shall be white brick (or painted white). Painted brick shall be executed in accordance with the following standard: The brick shall conform to ASTM C-216, grade SW brick as a minimum. A primer coat equal to Devoe Wonder-Bond alkyd pigmented bonding coat #16100 shall be applied. A second, top coat equal to Devoe Wonder-Shield exterior acrylic latex flat house paint #15xx shall be applied. Final color shall match Devoe Antique White. White brick shall be Acme Brick blend #22 or Kings Mountain Super White. All brick shall be wire cut only. White architectural precast concrete may also be used.

Mortar: White stone masonry by Blue Circle, or painted to match brick.

Roofing: Supradur Supra-Slate synthetic slate (or equal); Bangor Black in color. Roof slopes shall be 8/12 minimum.

5. **Screening: Mechanical, Communication, Electrical Equipment, & Loading Areas**
 - a. **Screening:** All ground mounted mechanical and/or electrical units shall be screened with the same material used on the building or with an approved plant material. All rooftop mechanical units shall be screened with a parapet or roof screen which matches the material and/or color of the building material, so as not to be visible by a standing pedestrian on any adjacent street.

TYPICAL NORTHCROSS DETAILS



- b. Loading docks and refuse areas are to be located on the least visible side of the building and screened as called for above. Outside storage is specifically prohibited. Whenever possible, refuse areas should be accommodated inside or adjacent to the building.

C. Construction

1. Before starting any operations on site, the Owner's contractor must supply the Committee with the name and phone number of the contractor's field superintendent.

D. Maintenance

1. The Owner shall, at all times and at its expense, keep its Lot, including all Improvements thereon, in a well-maintained, safe, clean and attractive condition. Such maintenance includes, but is not limited to, the following:
 - a. Prompt removal of all litter, trash, refuse and wastes.
 - b. Keeping all landscaping alive, weed-free and attractive.
 - c. Keeping exterior lighting and mechanical facilities in working order.
 - d. Keeping parking areas, driveways, and roads clean and in good repair.
 - e. Complying with all government health and safety requirements.
 - f. Striping of parking areas and repainting of Improvements.
 - g. Repair of exterior damage to Improvements.

2. Enforcement:

If any Owner fails to maintain its Lot in accordance with the foregoing in such manner as may be deemed necessary by the Committee to preserve and protect the value and attractive appearance of the Lot, then the Committee may give such Owner written notice stating with particularity the work or repair which the Committee finds to be required and requesting the same be carried out or undertaken and diligently pursued within the period as specified in the Covenants, Conditions, and Restrictions for NorthCross. Should

Owner fail to carry out or undertake such maintenance and repair, then the Committee, through its authorized agent or agents, shall have the right and power to enter onto the Lot and perform such care and maintenance without any liability for damages for wrongful entry, trespass or otherwise to Owner and the Owner shall be liable for the cost of such work and shall promptly reimburse the Committee for such cost.

E. Multi-Family Guidelines

Recognizing that the materials, details, and site planning issues for a multi-family development are unique within NorthCross, these additional guidelines are intended to elaborate upon the requirements for this multi-family development.

1. The project identification sign at the entry to the project shall have a base of white brick, similar to other signs within NorthCross.
2. The building material shall be white brick (as previously specified) or an acceptable wood product equal to Abitibi beaded, weathered, textured siding.
3. Wall surfaces shall be broken up with changes in the plane of the vertical wall surface and opening sufficient to break individual buildings up into a series of components yielding an interesting facade and building massing.
4. Roofing material shall be Supradur Supra-Slate synthetic slate (or equal); Bangor black in color.
5. Roof slopes shall be a minimum of 8:12. 12:12 is the preferred slope.
6. Roof lines shall be adequately broken up and modulated to prevent long expanses of unbroken gabled roofs.
7. Parallel relationships of buildings and parking aisles should be minimized.
8. Perpendicular walkways between parking and buildings should be minimized.
9. Minimize long, double-loaded aisles of parking.
10. In parking areas, islands shall be provided and landscaped to break up parking aisles. Unbroken aisles of parking shall not exceed 10 spaces.
11. At least 15' of effectively landscaped areas shall be provided between parking and buildings.



12. The planting of mature trees adjacent to parking and building areas should be encouraged.
13. Views, building and parking proximities, and scale should be sensitively considered in the site planning phases.
14. It is the intent of these guidelines that recreational on-site amenities shall be provided (ie. club house, swimming pool, tennis, jacuzzi, etc.).
15. All compressors shall be screened from public view with an acceptable landscaping screen which conceals this equipment from public view.
16. The trash collection system shall provide compactor dumpsters. These dumpsters shall be built into a sloping bank utilizing retaining wall and landscaped screening. In conditions where this is not achievable, a screen matching the building materials or landscaping buffer concealing the dumpster from public view shall be provided.
17. Any necessary retaining walls shall be masonry or pressure treated lumber.



NORTH CROSS

ADDENDUM TO NORTHCROSS DESIGN GUIDELINES

III. Signage Standards

The guidelines are amended for the highway business parcel site signage as follows:

Site - maximum area 50 square feet, maximum height 4 feet, on maximum height 3 foot base.

Location - ten foot inside right-of-way

Materials - base to match primary building material

IVB4. Materials

Primary building material shall be brick to match Pine Hall, 101 Cascade White, Boral Brick - Taylor Clay Products 301W or equal. The Architectural Review Committee may approve other materials including painted brick, stucco, architectural precast, architectural split face block all to match standard brick color. Accent colors may also be approved.

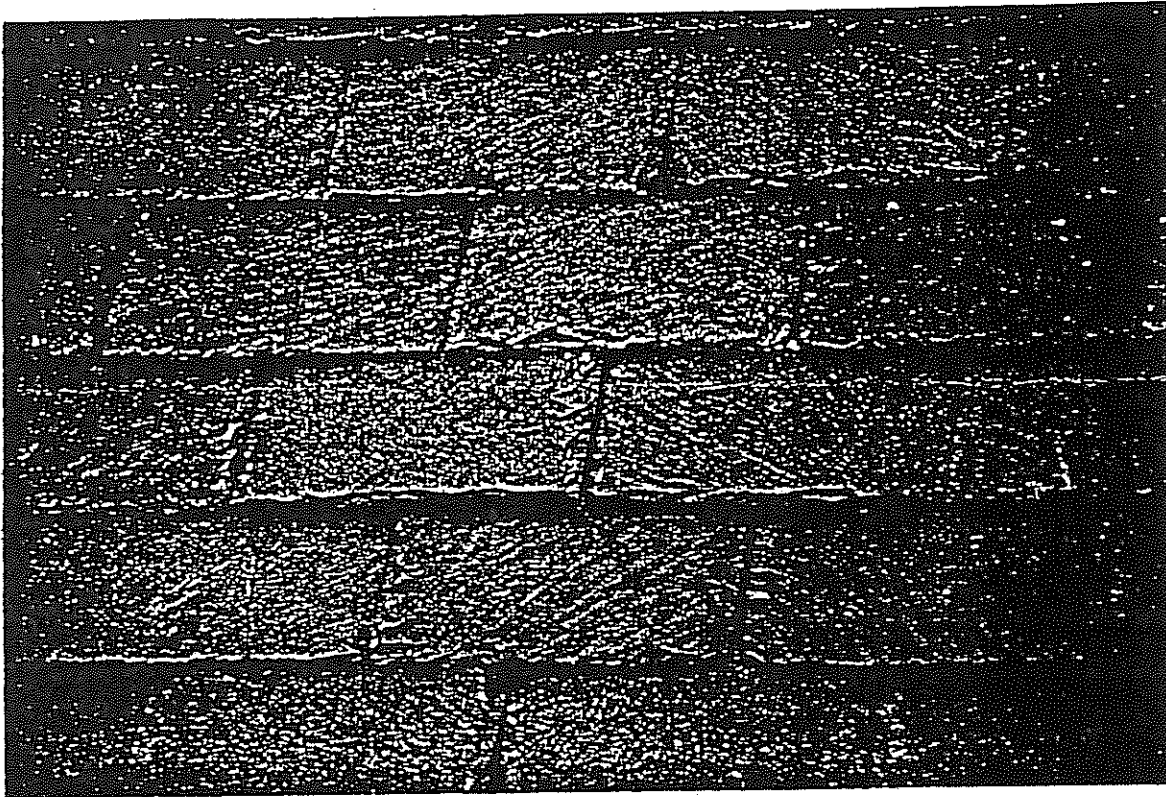
Mortar - Mortar shall match masonry units.

Roofing - Alternative acceptable roof materials include: Life tile or other light weight concrete products in a slate style and black color.

IV. E Multifamily Guidelines

4. Asphalt shingles are approved for multifamily developments.
5. Roof slope may be modified by the Architectural Review Committee.

BLACK DIAMOND™



BLACK DIAMOND is our premium UN-Fading Gray-Black Natural Slate. Strikingly similar in color and texture to Buckingham slate. Some texture variation from smooth to coarse.

SPECIFICATIONS:

GRADE: S-1

WEIGHT PER SQUARE: 800#

THICKNESS: 1/4"±

STANDARD SIZE: 18" x 10", 18" x 12"
16" x 10"

NON-STANDARD SIZES: 18" x 9"
16" x 8", 16" x 12"

HEADLAP: 3"±

QUARRIED IN: China



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