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## I. INTRODUCTION

### A. Introduction

Whitehall is a 700 acre, mixed-use community strategically located on the southwestern leg of the new Charlotte Outer Belt (I-485), near the Charlotte Airport. Served by two interchanges on the Outerbelt, Highway 49 and Arrowood Road extension, the location is uniquely positioned as the focal point for the growing southwest Charlotte/ Airport area.

Whitehall is conceived as a fully integrated mixed-use community designed for both regional and neighborhood uses through the provision of retail, office, industrial, residential and recreational opportunities. Whitehall will include:

- a Town Center providing retail stores, services and restaurants
- corporate office parks
- campus style business parks
- single family housing neighborhood
- apartment communities
- open space and park facilities
- a pedestrian and bicycle path network

Whitehall plans a physical environment which emphasizes conservation and open space. The desired result is a unique blend of urbanism and pastoral aesthetic which places buildings and amenities in a relaxed, naturalized landscape of gently rolling grassland. Harmonious architectural, landscape and signage design will be extended throughout Whitehall.

The buildings of the Whitehall community are intended to be an interpretation of the rich architectural heritage of the Carolinas. The universal language and strong simplicity of the region's 200 year history of building creates an image of bold serenity. A drive through the Carolina countryside, a stroll down Main Street in a quaint southern village, or a visit to a center for commerce and industry depicts a scene which is elegantly simple- *and unique to the Carolinas*. The development's beauty will draw upon these indigenous building elements, thereby creating continuity and a strong regional identity. The interpretive Carolina architecture of the Whitehall development is intended to emphasize a timeless quality characterized by familiar details and harmonious relationships between buildings and their settings. Whitehall's pitched roofs and pristine white buildings will echo the vernacular of architecture in the Carolinas, while remaining in context with the natural beauty of meadow grasses and rolling landscape.

These Design Guidelines are provided to assure the compatibility and quality of development within Whitehall. The use of common design principles and materials will establish and reinforce Whitehall's sense of community. Since Whitehall will consist of a variety of building types, the design guidelines provide for the differences in the various Districts.



## II. OVERALL DESIGN STANDARDS

### A. Site Plan

#### 1. The Site

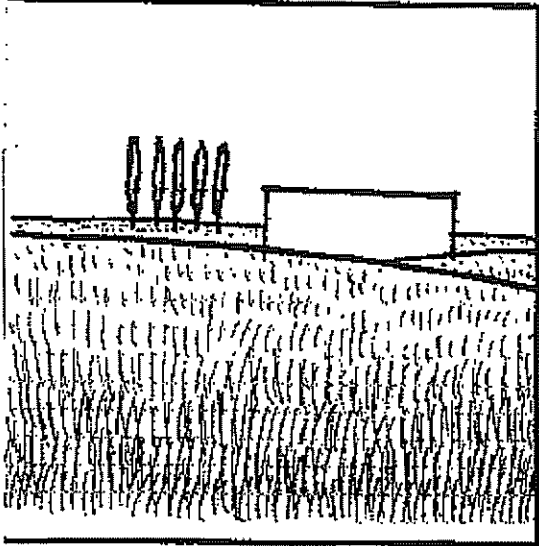
- a. The Whitehall site is characterized by a gently rolling open grassland, with wooded areas largely confined to ravines and the area surrounding Moody Lake. Long views exist across the site and to the Uptown Charlotte skyline.
- b. Environmentally, it is well suited for the planned community - having broad, high ridges and well-defined drainage areas.
- c. The setting provides a variety of opportunities and many natural building sites. The potential exists for creating a unique public identity for Whitehall, as the site will be highly visible from Charlotte's new Outer Belt, which bisects the site for a distance of nearly a mile.

#### 2. Key Organizing Concepts

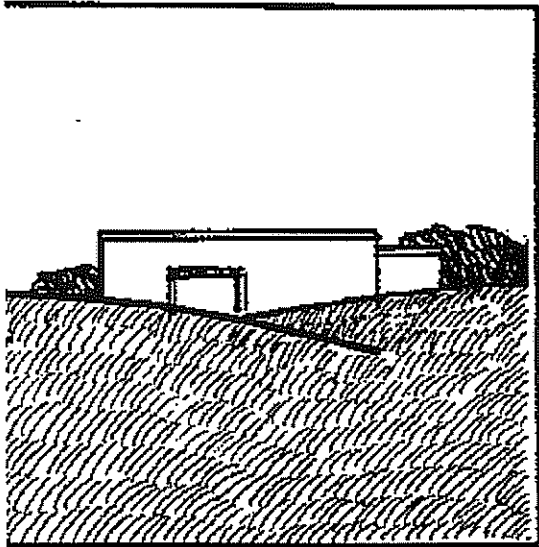
- a. Topography (land form) defines the shape of the development and other land use areas; natural areas are important permanent open spaces, as well as pedestrian corridors
- b. Overall transportation network of Outer Belt, arterial, and collector roads, together with existing topography, establish the physical structure of the community and hierarchy of vehicular access and visibility
- c. The mixed use concept emphasizes a core Town Center and adjoining uses layered around the center:
  - first layer medium to high density residential
  - second layer business park
  - third layer light industrial and corporate uses located west of the Outer Belt
  - outer layer single family residential located on the west side fronting Sandy Porter Road.
- d. Strong physical and visual connections should be established between use areas through the use of greenways, sidewalks and streetscapes.

#### 3. Grading Design

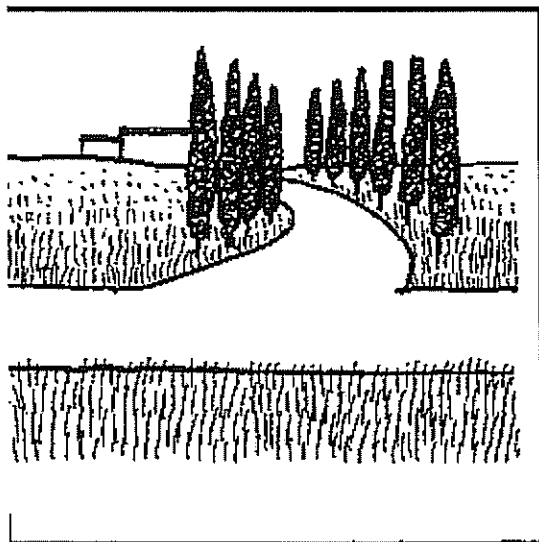
- a. Topography and grading design are to be used in ways which complement and reinforce the patterns naturally found on the site: a gently rolling terrain in which low hills "fold" into each other creating well-defined layers (foreground, mid-ground, background) and which are further complemented by changes in field cover (grasses of varying color and texture). The seams or zones between the hills will have vegetation which varies according to changes in soils, moisture, aspect
- b. Designed grades should compliment and mimic the folding terrain to produce the following conditions:
  - distinct foreground which provides an earthen buffer to building platforms; rises create an intermediate horizon to buildings
  - strong and distinct edges to built surfaces such as parking areas and streets
  - folds which are designed to reveal entrances and/or other important building areas
  - natural-looking land forms; generally, avoid 3:1 or greater slopes; more graceful and natural looking conditions will be produced by less severe grades, i.e.; 4:1 or less



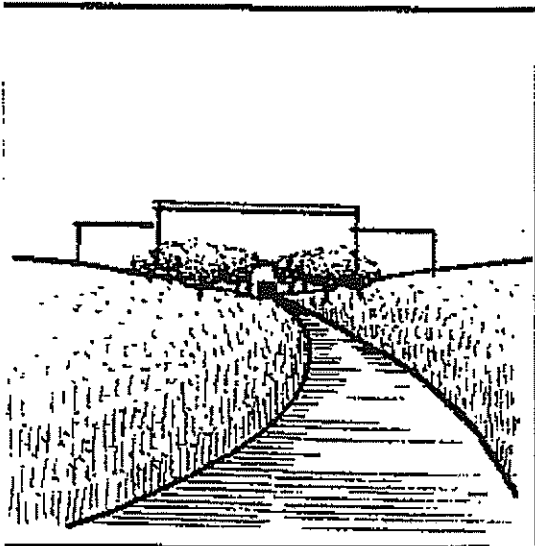
*Landform creates foreground, middle ground, & Background*



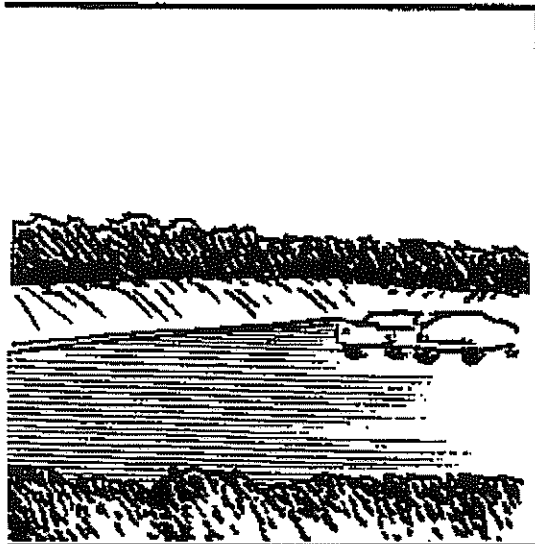
*Entrance to building enhanced by fold in terrain*



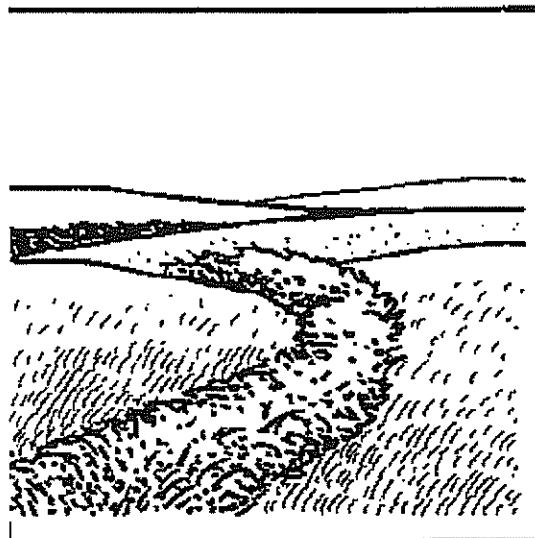
*Line of trees indicates direction of movement at entry*



*Grove of trees identifies building entrance*



*Hedgerow shrub adds height to landform buffer*



*Hedgerows enhance shapes created by landform*

- landscape design for specific parcels should be conceived in layers which become increasingly refined/formal moving toward the center (of building site). Layer edges should be distinct; outer layers should be reinforced by land form (earthen mounds)

## B. Landscape Design

1. Whitehall is designed to express an informality and openness through the character of its landscape. Inspired by the existing tall grass meadows, hedgerows, and wooded groves, the Whitehall landscape will establish an overall tone of pastoral elegance through a harmonious blending of topography and planting. Informal tall grass areas will be used to knit together the various elements of the landscape, with formal layouts and uniform plantings reserved for arrival areas, and for building entry and garden areas.
2. While informality and a "naturalistic" look is sought as the baseline landscape, it is intended that a refined, designed look be achieved by employing the following planting design guidelines :
  - a. Trees
    - to indicate direction of movement at an entrance
    - groves to identify building entrances and important sites
    - to reinforce edges to built surfaces (i.e.: at edges to parking areas)
    - to emphasize natural corridors and pathways
    - to break up parking areas
    - avoid uniform street tree planting
  - b. Shrubs
    - formalized plantings only at immediate building areas
    - to reinforce edges to built surfaces (i.e.: to compliment landform/enhance buffers)
    - as hedgerows in naturalized areas, to emphasize "seams" between hills, and to delineate boundaries.
  - c. Grasses and Herbaceous Plants
    - lines or patterns to create bold design "overlay" on baseline landscape
    - define edges to walks, drives, garden areas
    - in naturalized areas to knit use areas and parcels into perceived landscape whole
  - d. Lawns
    - mowed edges will be maintained along road driveway and parking edges but will be minimum depth possible
    - maintained lawns are permitted in the immediate vicinity of buildings only, it is preferred that lawn areas be reduced to minimum
  - e. Natural Spaces/Park Lands
    - natural areas will cross the Outer Belt and collector roads and provide a clear separation of land use areas and building sites
    - natural areas should come into clear contact with the collector roads
    - tree preservation and protection of the natural areas will be required



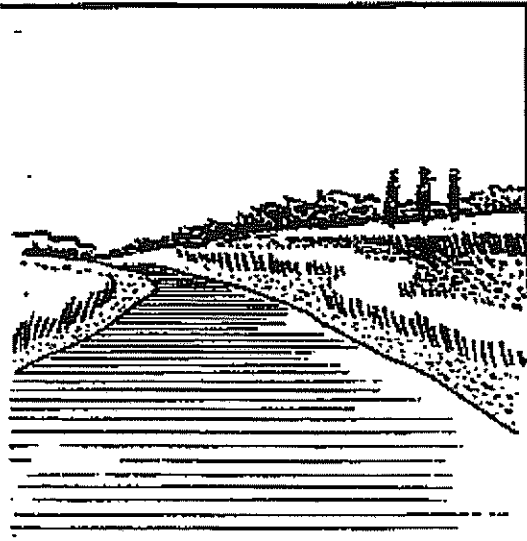
- natural areas will provide corridor lines for the parkway systems to other precincts of the community.

f. Irrigation

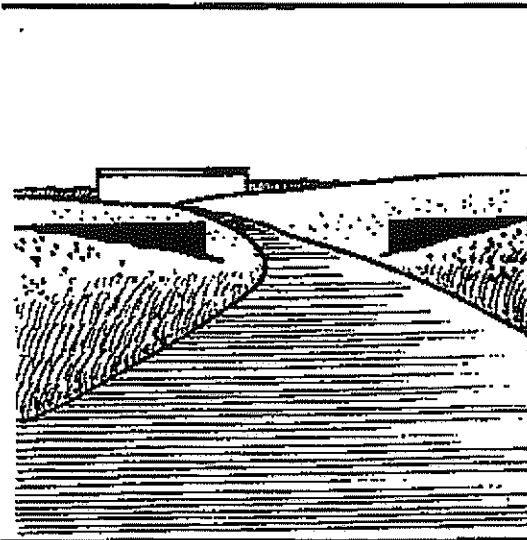
- irrigation design/installation shall be provided by a registered landscape architect or a company specializing in irrigation design and installation.
- at a minimum, areas to be irrigated shall include the following:
  - lawn areas
  - plant beds inside/adjacent to driveways and parking zones
  - plant beds near/adjacent to buildings

C. Signage and Monumentation

1. The Whitehall symbol is an abstraction of meadow grasses representing the freedom and informality of an open field. This symbol will be used as an identifying, decorative element on major project identification signs.
2. Signs and monuments should be designed to appear to be an outgrowth of the terrain and vegetation; horizontal, low profile, monument-type. Signs are intended to be a strong design element; their forms and material to be a compliment to the surrounding land form and vegetation.
3. Main project identification signs for Whitehall are planned as a design set, based on the theme of intersection of monument wall with landform. Design details and materials will change depending on the project area being identified.
4. Individual identity signs will be consistent with the design theme established at the main area entrances; however, signs will be smaller and require less detailing. A greater variety of materials may be selected for individual signs; see Project Use Areas for further signage criteria for each area.
5. Signage applied to buildings shall be compatible with the design of the main project identity. General text style and color shall be complementary. The design of the building shall accommodate the appropriate placement of signage such that signage equipment, and electrical requirements for lighting are concealed.



*Patterns of grasses create secondary design overlay on basic shape*



*Wall monumentation intersecting landform at entrance*

D. Building Design

1. Architectural Character:  
The design of each building should be in keeping with the philosophy of "interpretive Carolina architecture". Details and descriptions consistent with this intention are indicated on the following page(s).
2. Massing:  
Rather than designing large-scale, unarticulated 'boxes', it is suggested that buildings be comprised of smaller, well-proportioned elements. Large buildings, such as light industrial facilities and major retail store, should articulate entries, office areas, and building frontages so as to reduce their scale. It is suggested that office portions of light industrial (commercial warehouses) be considered as separate from the rest of the facility and be an articulation of the building frontage.



### 3. Materials:

a. Whitehall will be characterized by buildings with primarily white bodies to provide continuity amongst varying uses and to reinforce the aesthetic tone of vernacular Carolina architecture. The primary color shall be white brick. White brick should be Acme Brick blend #22 or Kings Mountain Super White. The following are additional approved wall materials:

1. Painted brick or block may be used, as an alternate to white bodied brick, under certain circumstances when approved. Use of such shall be executed in accordance with the following standard: The brick shall conform to ASTM C-216, grade SW brick as a minimum. A primer coat equal to Devco Wonder-Bond alkyd pigmented bonding coat #16100 should be applied. A second, top coat equal to Devco Wonder-Shield exterior acrylic latex flat house paint #15xx should be applied. Final color should match Devco antique white.
2. All clapboard, fascia, cornerboards, window mullions, boxing, etc. should receive one base coat of Devco Wonder-Shield exterior acrylic latex flat house paint #15xx and two top coats of Devco Antique White.
3. White architectural precast may also be incorporated.
4. Tilt-up or precast concrete panels may be used in light industrial buildings, provided that they are articulated by articulating the precast surface or joint by change in color, texture, thickness, or any other suitable method of breaking the large scale of the surface down to human scale.

b. Mortar

White stone masonry by Blue Circle, or painted to match brick for primary brick color.

c. Sloped Roofing

Sloped roofscapes are to be considered the standard in Whitehall Town Center and all residential uses. Primary roofing material is suggested to be of a metal standing seam roofing system such as UNA-CLAD UC-3 standing seam roof system in 12" or 24" seam widths. Pitch on sloped roofs shall be 8/12 minimum. Roof colors are suggested to be compatible, yet allow for variety among roofscapes. The primary roof color shall match the PAC-CLAD color designation of "Hemlock Green". A distinguished building use (such as a post office within Whitehall Town Center) may provide for a special roof color of "silver".

d. Flat Roofing

Where building types do not permit sloped roofs (i.e. light industrial facilities, large anchor tenant buildings in Whitehall Town Center, and the business/corporate park), flat roofs may be used, in combination with mechanical screening (see mechanical screening guidelines) and sloped roof feature elements. Mechanical screens or sloped roof feature elements will use one of the approved metal colors



e. Glass

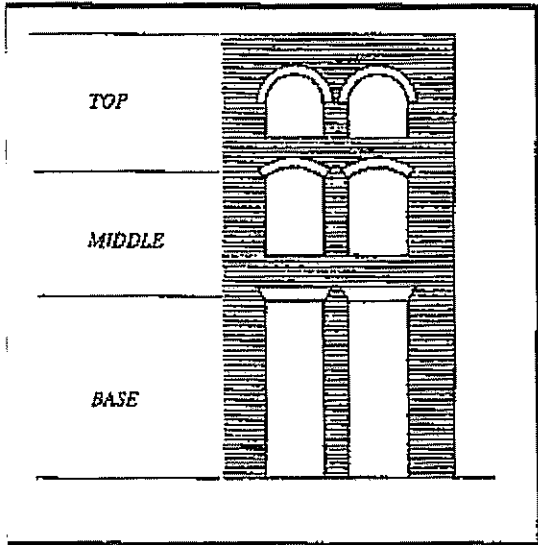
Where necessary, tinted/colored glass is suggested to be of a moderately reflective type in bronze, medium grey (pewter), or dark green.

f. Screening

All ground mounted mechanical and/or electrical units shall be screened with the same material used on the building or with an approved plant material. All rooftop mechanical units shall be screened with a parapet or incorporated into an architectural feature such as a false chimney or other roof form so as not to be visible by a standing pedestrian on any adjacent street. Vents, exhaust hoods, etc. should be located on the least visible slope of pitched roof forms.

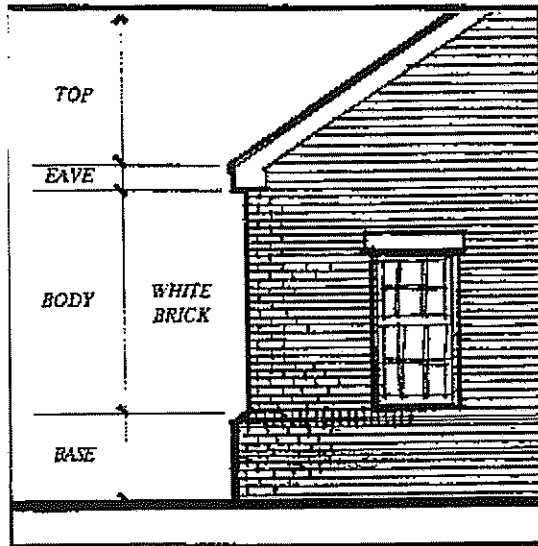
g. Loading docks and refuse areas

Loading docks and refuse areas are to be located on the least visible side of the building and screened as described above. When possible, refuse areas should be accommodated inside or adjacent to the building.



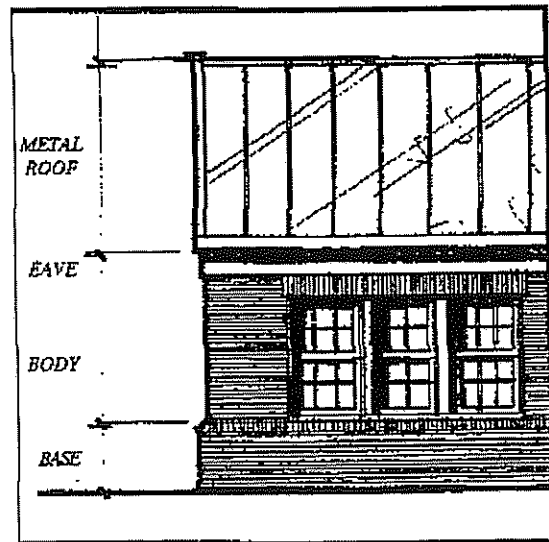
4. Architectural Design Elements:

Many design elements are components of vernacular Carolina architecture. It is the simplicity and clarity with which these elements are composed together which will create an environment of elegance and compatibility. The following concepts and illustrations are a sampling of architectural elements which are intended to be a basis for the design of buildings at Whitehall and are therefore encouraged:



a. Proportioning Elements

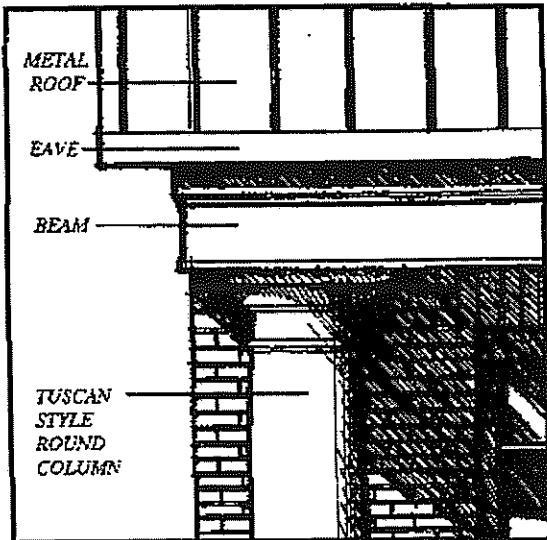
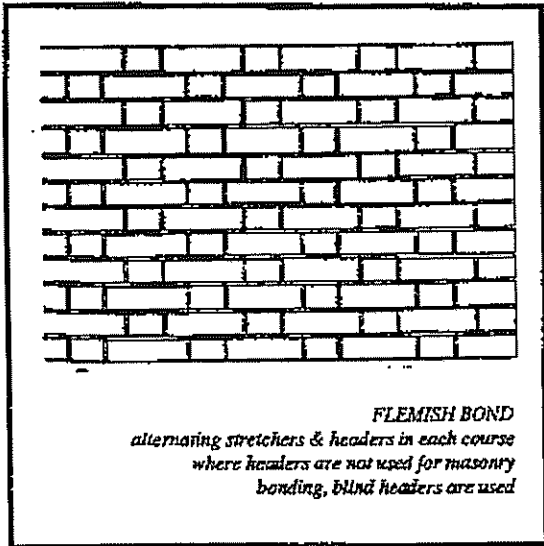
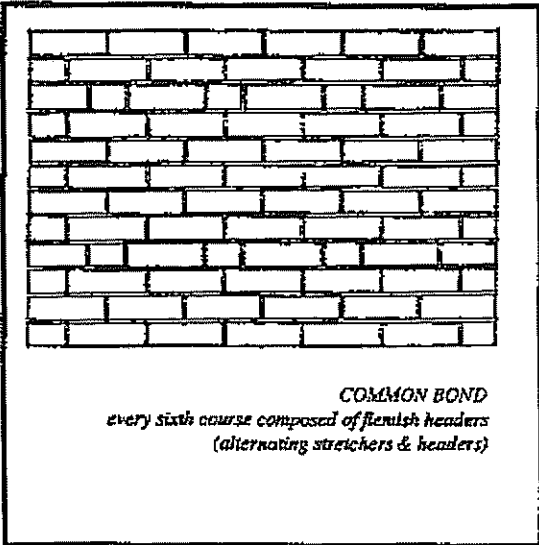
Clear and simple building masses are encouraged. A clear hierarchy of base, middle and top will assist in giving the building scale and delight. Horizontal building are to be broken down into smaller components by the use of vertical architectural components. Symmetry in composition shall be employed to signify important elements such as entry etc., however not to such a degree that a stiff formal appearance is resultant. Asymmetrical compositions, with "localized" symmetry is encouraged to effectively promote a casual aesthetic.



b. Metal Roof / Eave Details

Standing seam metal roofs shall be the standard, and are recommended over batten or flat seamed roofs. Roof edge conditions, including rakes, eaves, valleys, and ridges are to be kept thin and slender in lieu of heavy metal trim. Eave conditions, including wood trim, soffit, and beam conditions running over columns are to be considered wider, and detail is to be kept simple, in keeping with Carolina vernacular.



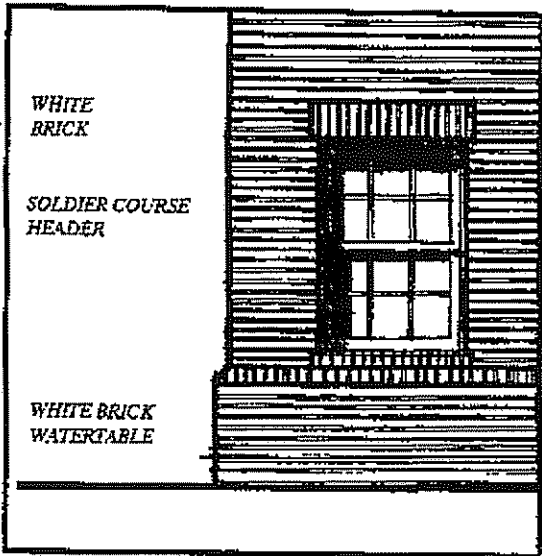


c. Brick Detail

Vernacular Carolina architecture uses brick in an elegantly simple manner. White brick shall be used for an enhancement of the pristine character of Whitehall. Brick detail, such as a watertable, projection of the base of the building, or similar expression (rowlock course etc.) is encouraged. Other details, such as quoins and / or piers at corners or breaks in the facade are also encouraged.

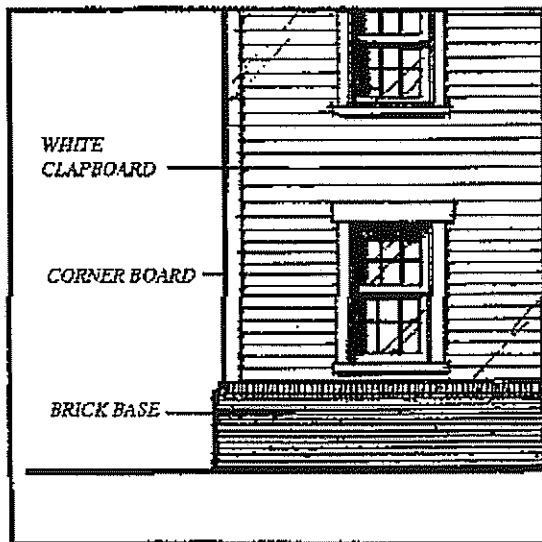
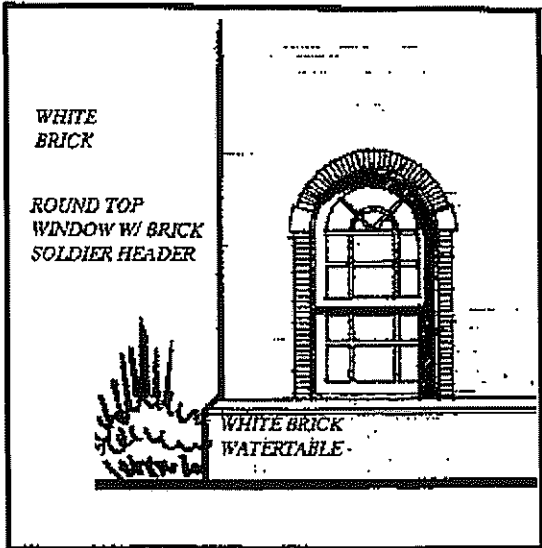
d. Columns

Round white columns used along arcades and at entries are preferred. The standard style shall be "Tuscan" in design, and shall be proportioned moderately heavy in composition with the adjacent building mass.



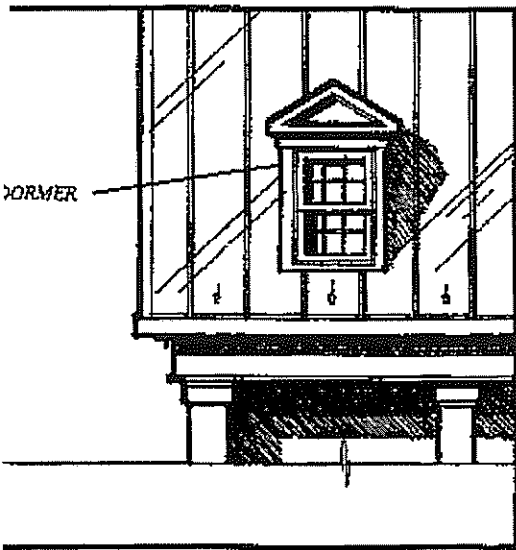
e. Windows

Rectangular windows with a moderate degree of detail, such as mutton patterns, double sash configuration may be used for "punched window" conditions. For applications of larger glass, muttons patterns emulating the look of true divided lights are encouraged to enhance a vernacular expression.



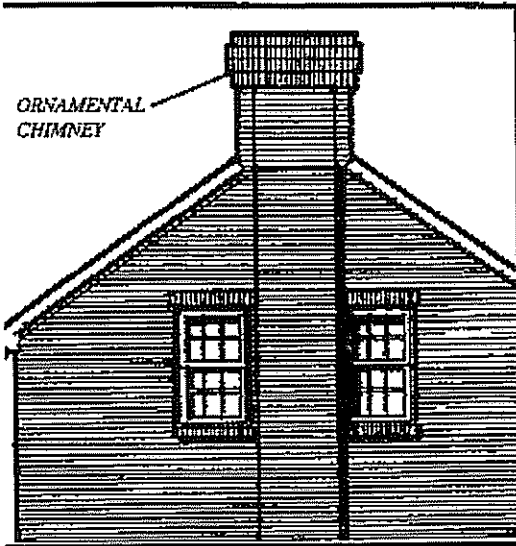
f. Wood Clapboard

Wood clapboard is a standard material in the Carolina architectural landscape. Wood clapboard may be used on residential uses, as an accent material or as an exclusive material on distinguished use buildings. Clapboard is to be painted white, and shall be used in combination with brick foundation, and have wide corner boards and wide trim.



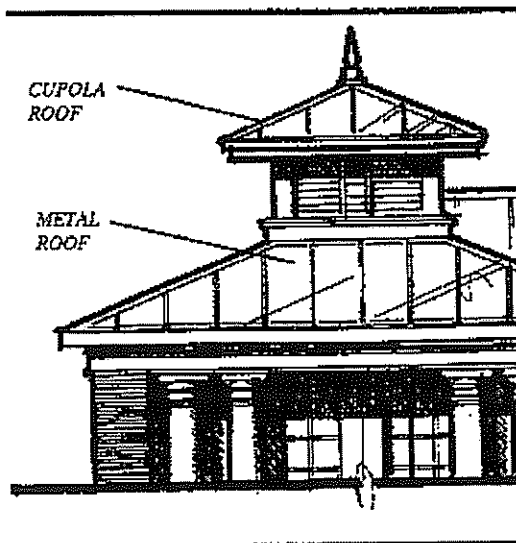
g. Dormers

Interesting and composed roofscapes are encouraged to create scale and architectural interest, as well as to enhance a Carolina vernacular aesthetic. Dormers and / or larger gables and hip roofed projections are encouraged. Windows or unique vent details are recommended in combination with roof projections. A 12/12 pitch is recommended over smaller dormers, while shallower pitches may be used on larger roofscape elements or when the roof form extends beyond the edge of the main building.



h. False Chimneys

Vertical emphasis is achieved by the use of brick chimney elements on the end elevation and when composed within the mass of the building. A moderate degree of detail, such as corbeling at the top of the chimney mass is encouraged in conjunction with a projecting flue tile. Plumbing or other ventilation stacks may be incorporated within these elements.



i. Gables

Crisply detailed gable elements with wide fascia and rake details are recommended over ornate complicated gable and eave details. Recommended pitch is 8/12 for large gables, while 12/12 pitch is preferred on smaller gables.

j. Piers

Visual strengthening of the building mass by the use of brick piers is encouraged. Piers may be used at corner conditions as well as in combination with columns conditions.

## E. Graphic Standards

1. **Overview.** To insure that Whitehall's "signature" is properly and consistently used, clearly defined graphics standards have been established. This wordmark and icon have been adopted as the development's primary form of identification, for use as a project signature on all communication tools.

Recognition of Whitehall's identity will depend almost entirely on the consistent use of the wordmark's approved type, icon design and colors in the accepted proportions and orientations. Although most other graphic design elements are highly flexible in application, this wordmark and icon must remain constant to achieve the program's overall objectives.

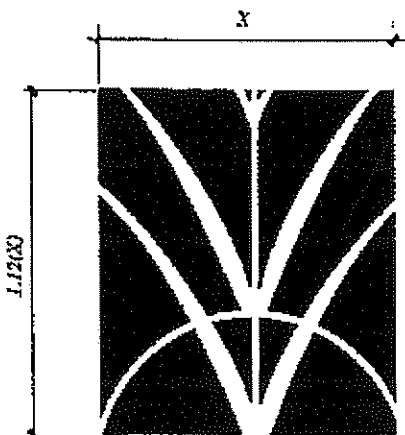
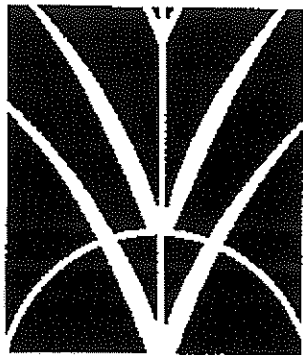
2. **Typestyle.** The memorable visual impact of the wordmark begins with the classically proportioned Weiss typestyle to represent the development name.

Weiss was selected for its legibility, elegance and bold letter formation. The spacing of certain letters has created a look that is unique to the Whitehall identity. To preserve this uniqueness, the identity "signature" should always appear as one line of type, a single unit that is never abbreviated, separated or stacked one word on another. The Whitehall name must always appear in the Weiss typestyle and in all caps.

The Weiss typestyle may be used as support type for secondary messages. If more contrast is desired in supporting typography, the clean look of Helvetica, a sans serif face, may be selected.

All support typography is available for use in its full range of variations, whether it be Helvetica or Weiss.

3. **Icon.** Project identity is further reinforced by this graphic element which depicts a grasslands leaf pattern on a dark background. That design mark suggests the emerging vitality and potential for growth at Whitehall. Its visual reference to a pastoral setting helps articulate the landscape architecture theme of the development.
4. **Proportion.** All support typography must not exceed 50% of the letter size found in Whitehall's wordmark. Spacing between the icon (floral pattern), wordmark, perforated rule and support copy should always be equidistant. The proportion between icon and wordmark should always remain constant.
5. **Color Family.** Just as audiences will begin to recognize the distinctive form and look of the Whitehall use of the Weiss typestyle, so will they respond to the combination of green and warm beiges that comprise the identity color family. A conservative, rich green was chosen for the icon color to represent the energy and economic vitality found in the fertile rolling hills of the Whitehall site. Metallic copper and its non-metallic color match, an earthen terracotta, serve as the color selections for Whitehall's wordmark. The perforated rule (dot pattern) should be rendered in the green selected for the icon. All support typography would be rendered in the metallic and non-metallic match colors.



# WHITEHALL

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These color combinations are especially effective in signage because of the eye of the passing motorist responds quickly to the green before it registers the wordmark and supporting typography. As signage begins to appear in several locations within the Whitehall site, color becomes as recognizable as typestyle in identifying the Whitehall development.

When printing literature or painting signage, identity colors should be determined by matching to the PMS colors from which the identity was originally developed. These match colors vary slightly according to the technique and materials used. Whitehall's color specifications are referenced by the following PMS color numbers:

1. Pantone 349C Green (icon)
2. Pantone 876C Copper metallic (wordmark)
3. Pantone 4645C Non-metallic beige (wordmark)
4. Pantone 349C Green (abbreviated rule)
5. Pantone 876C Copper metallic (support metallic)
6. Pantone 4645C Non-metallic beige (support typography)

## F. Environmental Conditions

1. Waters of the United States protected by the Clean Water Act occur on and adjacent to the Whitehall Project. All project development will adhere to the laws and regulations regarding Waters of the United States including wetlands.
2. The site includes the Porter Road Swamp Preservation Area which is owned by the State of North Carolina. The 45-acre tract contains unusual and rare sensitive wetland habitats which occupy shallow depressions on broad upland flats and ridgetops and forested buffer. Discharges of Stormwater into the Porter Road Swamp Preservation Area is prohibited.
3. Any proposed impacts to wetlands must be approved by the Committee and are subject to approval by the United States Army Corps of Engineers and the North Carolina Division of Environmental Management.
4. No buildings, roads, or parking are permitted in the 25' development buffer around Moody Lake or Johnston Lake. Low impact activities may be allowed with approval of the Committee.
5. On-Site Stormwater Management will be required for all non-residential land uses. Wet detention basins that provide a level of management consistent with State of North Carolina criteria and policy shall be the primary treatment system.
6. A Sedimentation and Erosion Control Plan will be required for all sites.
7. Best Management Practices will be required including avoiding impacts from hazardous materials and other toxins to fish and other aquatic life by not permitting construction staging areas to be located near tributaries or wetlands.
8. Measures shall be taken to prevent "live" or fresh concrete from coming into contact with jurisdictional waters until the concrete has hardened.

The limits of jurisdiction should be staked in the field to avoid potential unauthorized encroachments and/or violations of the Clean Water Act.

### III. DISTRICT DESIGN STANDARDS

#### A. Town Center

##### 1. Site Planning

Mixed-use Town Center is composed of three parts:

- a. Anchor stores are the main body of the site; entrances and parking will be oriented to Hwy 49 and Outer Belt
- b. Perimeter sites are to be occupied by detached businesses, including service stations, banks, restaurants, stand alone stores, and possibly hotels
- c. Neighborhood Center is a retail/service and office area occupying a node on Arrowood Road Extension; designed as a local activity center
  - Individual retail/business parcels will obtain driveway access from the main internal loop drive or other internal drives as identified on the plan. Access from other public streets will only be provided as shown on the land plan
  - Site layouts should provide for a continuity of landscaped area between the adjoining driveway and site area
  - Building entrances should be located to face main access drives
  - Pedestrian walks should be provided where public sidewalks adjoin property
  - Emphasis should be placed on landscape/hardscape at building entrances
  - Service areas should be removed from view of entrances and main driveways

##### 2. Streetscape and Landscape

- Mixed Use Center view windows are from the Outer Belt (view from southbound traffic lanes) Hwy. 49 and Arrowood Road Extension
- Informal patterns/indigenous plant material to be overall theme
- Landform (grading) along streetscape edges to reduce views to parking zones
- Streetscape designed to respond to specific sequence of places/ locations, i.e.: entrances and arrival locations to be identified by tree groves, areas between to be identified by ornamental grass/ shrub plantings

##### 3. Signage Criteria

###### USE

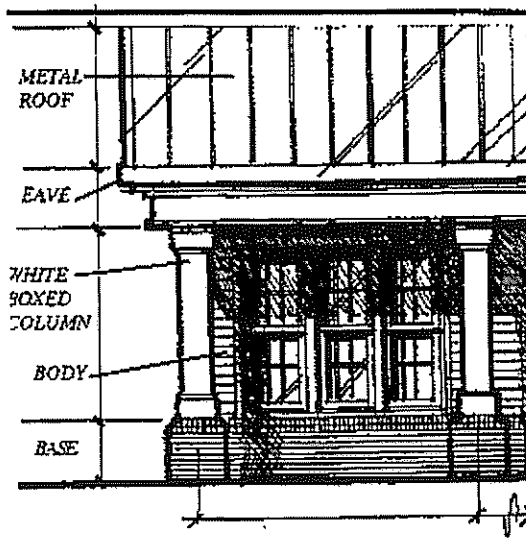
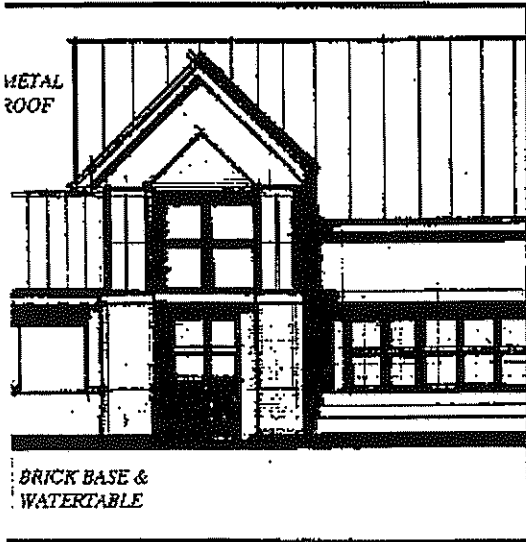
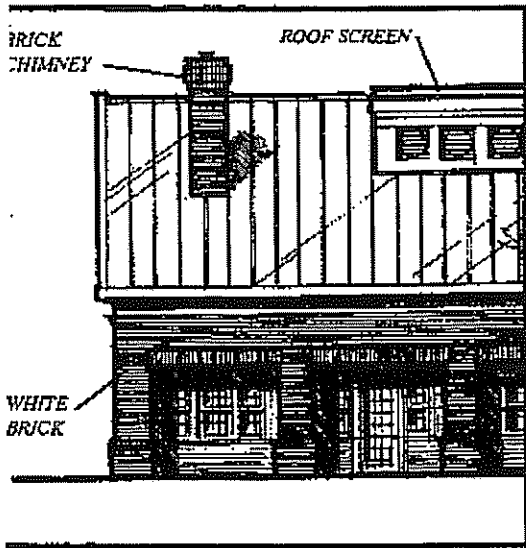
###### MATERIALS PERMITTED

Retail/Office

Cap & Detailing: cast or etched metal

Base: granite or slate cladding, or  
cast stone

Letters: mounted metal



#### 4. Architectural Building Design

Whitehall Town Center should provide for human scale and a sense of place by addressing the following criteria:

- Masses shall be broken down into components both horizontally (use of columns or piers and focal elements/entries) and vertically (articulation of base, middle and top)
- Entry features are to be articulated by scale and roof feature
- Pedestrian path adjacent to entries shall be articulated by a suitable overhead enclosure, such as a colonnade or recesses in the building face
- Long stretches of buildings shall be articulated by a feature element, and/or a change of plane or angled fold in the building
- Less formality in the architectural composition of the facade and massing is preferred- asymmetry, to enhance a casual feeling in keeping with the adjacent landscape
- Roofscape shall be articulated architectural elements (see elements, under General Architectural Design Criteria)
- Brick watertable or base is encouraged
- Architectural and tenant signage shall be provided as an integral component of the facade
- Where flat roofs are necessary, mechanical screening criteria shall be implemented in cases where building equipment is visible from the street

#### B. Corporate Park

The Corporate Office Area adjoins the Outer Belt at both sides of the Arrowood Road interchange. Design for corporate tenants can be more formal and refined than has been suggested for the balance of Whitehall; however, it is very important that the provisions for landscape, streetscape, and open space in particular be consistent with other areas.

##### 1. Site Planning

- A park environment is sought in which buildings are located in a suburban, pastoral environment which emphasizes continuity of landscape and open space features.
- Sites adjoining the Outer Belt should seek prominent locations with respect to views to and from the Interstate. Generous setbacks should be provided, however, to avoid a sense of crowding the Interstate.
- Service and parking zones should be removed from view from the Outer Belt and Arrowood Road as much as possible.
- Main entrance into corporate parcels should provide a "clean" drive directed to front building areas which may terminate at the building entrance. Convenience visitor/executive parking may be located adjoining the entry drive. Large parking zones for the balance of vehicles should be accessible via connecting lanes to the entrance drive. Views into parking zones should be buffered from parcel entrance drives. Roads may provide direct access to parking and service zones.



2. Landscape and Open Space

- A greater sense of formality may be introduced in landscape design once within the corporate parcel. Lawn areas around buildings may be extensive.
- Formal landscape design may be introduced only in areas which directly adjoin a building and are intended as garden areas.

3. Signage Criteria:

USE

MATERIALS PERMITTED

Business/Corporate

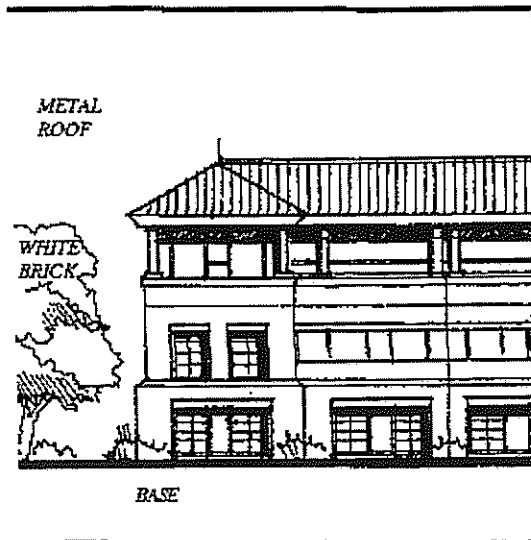
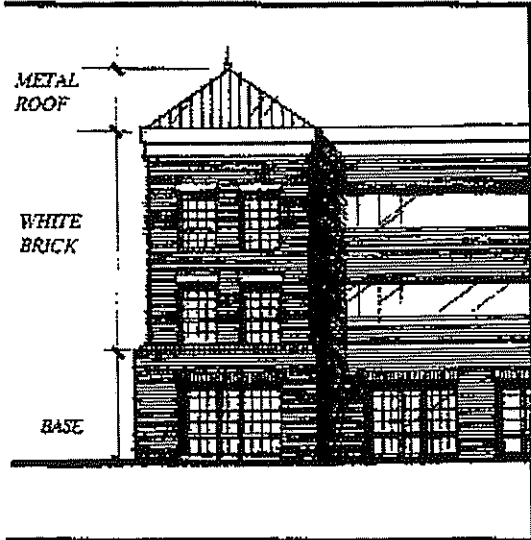
Wall Face: steel or aluminum, granite cladding, concrete, brick or block

Letters: mounted metal

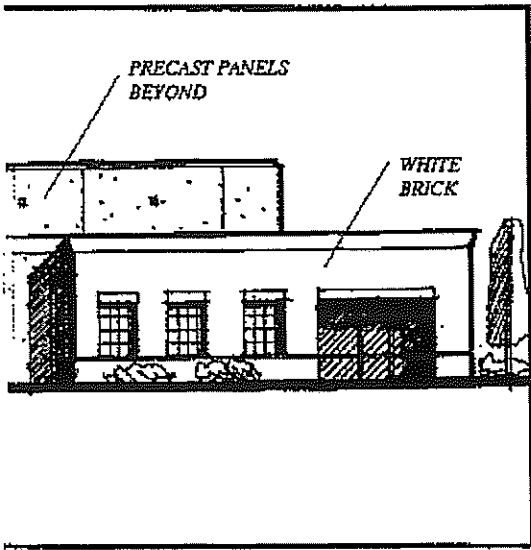
4. Architectural Building Design

The architectural design of the corporate park component shall allow for an appropriate aesthetic which is sympathetic to a Carolina vernacular. In keeping with this, the following criteria shall be observed:

- Massing shall articulate entry feature as well as corner elements of the building
- A greater sense of formality and symmetry may be introduced to the composition of the building facade and massing, in keeping with a Corporate environment and the surrounding landscaping
- Roof may be flat provided that feature element(s) of the building be articulated by a change in height of the parapet or a pitched roof element using standing seam metal roof (primary base colors)
- Horizontal ribbon windows may be used, provided they are composed with other elements which break them up (change in plane or articulation at corners or entries)
- Vertical articulation of scale is encouraged, by broader proportions at the base of the building and more slender proportions at the top
- White brick or architectural precast is required
- Where flat roofs are necessary, mechanical screening criteria shall be implemented





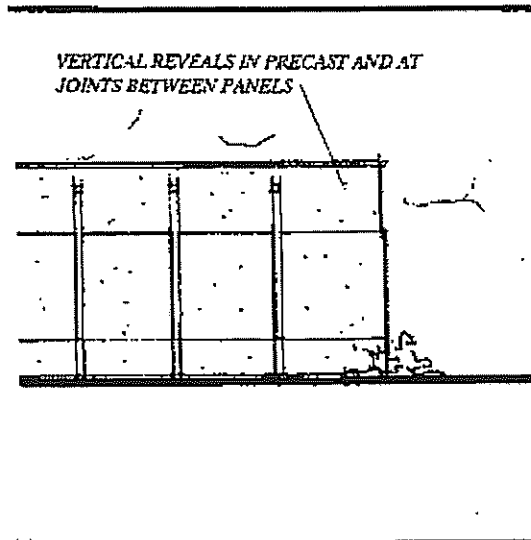
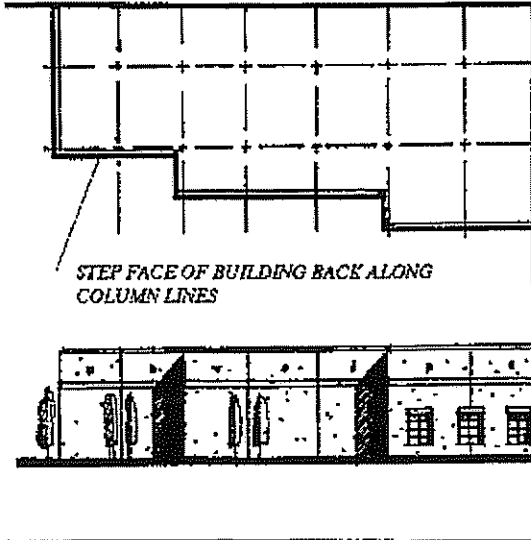


### C. Business Park

Light industrial sites are located along the southern perimeter of the Outer Belt and flank Whitehall Park Drive up to the corporate Office Area. Light manufacturing/assembly, distribution, and warehousing uses are planned. These sites will be developed as individual parcels ranging in size up to twenty acres or more. Similar to the corporate park, a pastoral park environment is sought in which the built environment is perceived as secondary to open space and landscape. Emphasis is placed on the informal character of landscape design and, in particular, bold lines and edges produced by vegetation and landform to reduce the impact of buildings.

#### 1. Site Planning

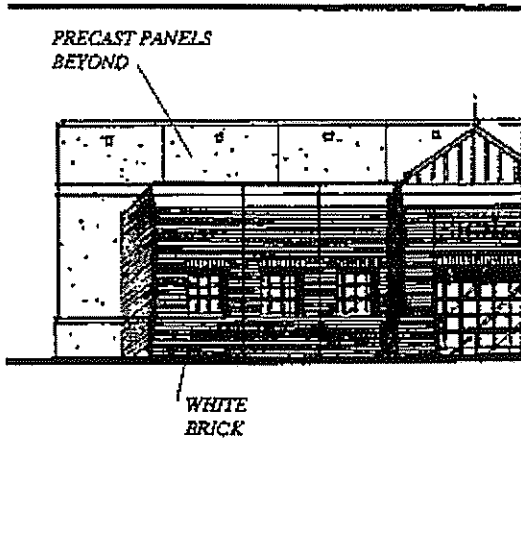
- Emphasis should be placed on "subduing" the visual impact of large buildings and parking areas. Building and parking pads should be lowered as much as possible and adjoining areas designed to contain the building elements by elevating adjoining grades
- Parcels adjoining the Charlotte Outer Belt should seek their identity by carefully designing specific building elements for view
- Parcels should be planned to enable building expansion within defined envelopes
- Main parcel driveways should be directed toward building entry and customer parking areas. Main parking and service zones should be accessed from entrance drives and secondary entrances from Whitehall Park Drive
- Direct Views into large parking and service areas should not be permitted from the Outer Belt or Whitehall Park Drive



## 2. Landscape and Open Space

- Emphasis should be placed on visually containing/buffering building, parking/service zones with earth and vegetated edges. Setback areas should be used deliberately for this purpose
- Uniform tree planting may be introduced only on entry drives, parking zones and in garden areas immediately adjoining the building. Other areas must maintain the informal patterns and palette described in Section IIIA. Id and on the accompanying documents
- Landform design should reduce full views to building plat forms, observing ground floor elevations except for desired points of identification such as entrances or architectural features

Design of landforms should produce bold lines and edges specifically to compliment planting design, direct views, and identify "view windows"



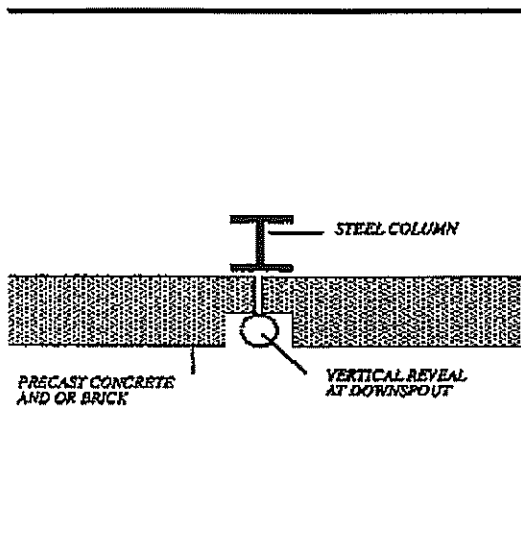
## 3. Signage Criteria:

<u>USE</u>	<u>MATERIALS PERMITTED</u>
Business/Corporate	Wall Face: steel or aluminum, granite cladding, concrete, brick or block Letters: mounted metal

## 4. Architectural Building Design

In keeping with the nature of light industrial uses, large buildings with broader massing may be used in this area providing the following criteria are observed:

- Office and/or public use portions of the building shall be articulated as a focal point; this can be achieved by a change in massing (protruding mass, or recessed mass) a change in material, height, texture, articulation etc.
- Office portion of the building shall articulate more human scale, i.e., use of windows, columns, and/or a pitched roof element
- White tilt-up concrete may be used, and shall have an articulation of vertical scale by a change in massing (protruding mass, or recessed mass) a change in height, texture, articulation of joints and reveals, banding recesses, etc.
- Exposed downspouts shall be integrated as a vertical feature, by recessing the downspout on the wall





## D. Residential Community

Recognizing that the materials, details, and site planning issues for an apartment community are unique within Whitehall, these additional guidelines are intended to elaborate upon the requirements for this multi-family development:

### 1. Site Planning

- Site plans should provide central open spaces/amenity areas which are linked to residential building entrances by clearly identified pedestrian paths; the open spaces and pedestrian corridors should be directly linked to the lake pathways and/or other pedestrian/bicycle areas
- Parking and driveways should generally be laid out on the site perimeter in order to maximize internal open space and avoid interruptions of pedestrian links
- Provide a minimum 50' building setback from the lake shore; no parking zones are to be located between the buildings and lake shore
- Parking areas should be located on only one side of the main building face
- Parking areas should be located at the terminus of driveways.
- Parallel relationships of buildings and parking aisles should be minimized
- Perpendicular walkways between parking and buildings should be minimized
- Minimize long, double-loaded aisles of parking
- Driveways should be detached from parking zones if they are serving more than one parking area
- Building massing and streetscape concepts may vary depending on desired density
- High density option: traditional neighborhood streetscape with buildings/building entry tight to the street; urban streetscape including uniform tree plantings, sidewalks, parallel street parking (balance of parking area behind buildings)
- Medium density option: buildings organized in clusters which may create an internal open court (parking on perimeter) or internalized parking clusters which are broken by internal natural areas, with buildings back up to amenity and/or open space

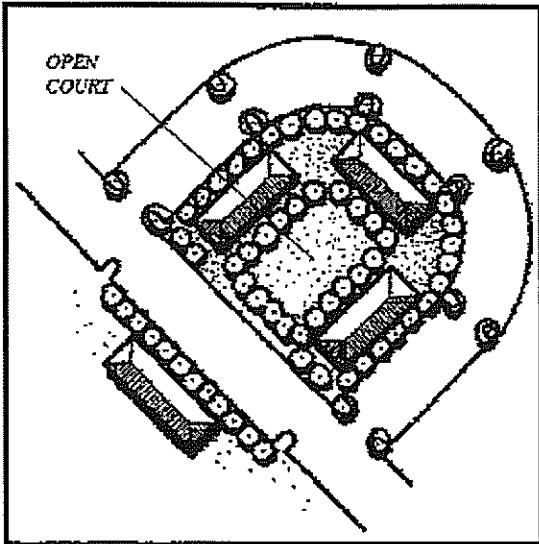
### 2. Landscape and Open Space

- At least 15' of effectively landscaped areas shall be provided between parking and buildings
- In parking areas, islands shall be provided and landscaped to break up parking aisles. Unbroken aisles of parking shall not exceed 10 spaces

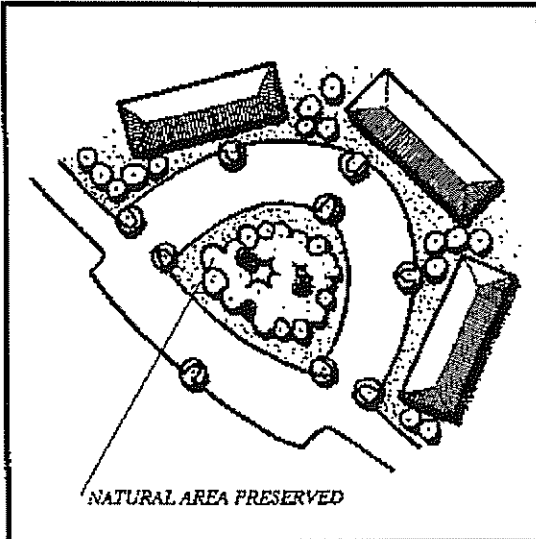
### 3. Signage Criteria:

<u>USE</u>	<u>MATERIALS PERMITTED</u>
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Residential	Top: wrought iron fence Base: white brick, stone or stucco Letters: mounted metal
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HIGH DENSITY: BUILDING COURTYARD



MEDIUM DENSITY: BUILDING CLUSTER



#### 4. Architectural Building Design

- The building material shall be white brick (as previously specified) or an acceptable wood product, such as clapboard or board and batten
- Wall surfaces shall be broken up with changes in the plane of the vertical wall surface and opening sufficient to break individual buildings up into a series of components yielding an interesting facade and building massing
- Alternative roofing shall be Supradur-Supra-Slate synthetic slate (or equal); or an asphalt shingle comparable to colors as specified previously
- Roof slopes shall be a minimum of 8:12. 12:12 is the preferred slope
- Roof lines shall be adequately broken up and modulate to prevent long expanses of unbroken gabled roofs

## IV. REVIEW PROCEDURES

### A. Review Process

A project is reviewed and monitored through three basic stages of its development:

1. Schematic
2. Final Plans & Specifications
3. Construction

The lot owner, at its expense, shall submit to the Committee for review three (3) complete blue-line sets of documents during the design stages of the review process. Document format is explained further on in these guidelines.

Schematic: The lot owner must submit information pertaining to the use, size, location, and character of its development. A site plan showing building location, general landscape areas, service areas, pedestrian and vehicular circulation and all applicable setbacks and easements is required along with the above information. A schematic elevation(s) showing building form, materials, colors, and signage shall also be provided. The Committee's review should normally take one to two weeks from receipt of documents.

Final Plans & Specifications: The Committee will review Final Plans and Specifications ("Final Plans") for conformance with commitments made in the Schematic Phase. The Final Plans submittal shall be accompanied by the Architectural Review Committee Fee, as has been set by the Committee as of the date the Owner submits its Final Plans. The Architectural Review Fee, as of the effective date of these Guidelines, is \$500.00 and must be paid upon initial submittal.

Construction: The Lot Owner shall construct its project in conformity with the information and plans approved by the Committee in the previous stages of the review process. A \$ 500.00 per acre, minimum \$2,000.00, compliance fund is to be paid prior to construction and clean up to assure a follow through of construction consistent with approved designs. This will be reimbursed upon acceptable completion of construction, less any amount required by the developer to complete any construction clean up or similar required completion.

The Committee shall review the Schematic and Final Plans and return them to the Owner marked "Approved" or "Disapproved", as the case may be, with any appropriate review comments.

The Committee may disapprove of any preliminary plans, location and style of Improvements, exterior colors or finishes or other specifications for any reason including purely aesthetic reasons, in the sole discretion of the Committee.

Before starting any operations on site, the Owner's contractor must supply the design review committee with the name and phone number of the contractor's field superintendent.



Once the committee has approved the Final Plans for Improvements, the construction of such Improvements must be promptly commenced within six (6) months following the date of approval of the Final Plans by the Committee. Such an approval shall be deemed rescinded, and, before construction of Improvements can thereafter be commenced, the Plans must again be approved by the committee pursuant to this Paragraph.

## B. Document Requirements

### 1. Survey

If required by the committee, the Owner shall provide the committee with a "survey" prior to the review of documents in the schematic phase of development. The "Survey" shall be obtained by the Owner. The "survey" shall be prepared by a licensed land surveyor and shall be made in accordance with the "Minimum Standard Detail Requirements for Land Title Surveys" jointly established and adopted by ATA and ACSM in 1962. In addition, the "land title survey" shall include, but not be limited to, the following: parcel zoning classification, setback or building restriction lines, and the acreage of the parcel, underground and other utilities, topography, easements, major vegetation, etc.

### 2. Architectural Site Plan

The minimum information required for each stage of the review process is as follows:

#### a. Schematic

- Title, date, architect, lot owner, and sheet number
- North arrow
- Scale
- Approximate building area
- Parking Data: Number and ratio required by code, number and ratio provided, size of stalls and aisles
- Acreage
- Location of any view corridors, building setbacks, property lines, easements and other restrictions on the property
- Circulation features within the property and location of parking areas
- Grading plans sufficient to indicate proposed grades for entire property development, including preliminary building floor elevations
- Property lines, easements, and prominent existing physical features to remain
- Location and number of all signs
- Utilities and utility locations
- Site lighting

#### b. Final Plans: All information required in design development stage.

#### c. Construction: Certified "as built" survey showing all above and below grade improvements.



### 3. Landscaping Site Plan

The minimum information required for each stage of the review process is as follows:

#### a. Schematic:

- Site plan must indicate areas to be landscaped. (Information may be shown on "Architectural Site Plan" for this phase in lieu of a separate landscaping plan)
- Plan at a scale of 1"=30' or larger. Details and special plan areas may be shown at a larger scale
- North Arrow
- Date
- Architect and Lot Owner
- Project Name
- Dimensions, property lines, easements, contour lines, elevations, and prominent physical features
- Location of building(s), driveway(s), curb cut(s), parking, pedestrian, and service areas
- Location and types of hard construction materials, furniture, lighting and other amenities
- Irrigation - Indicate type of system and irrigated areas
- Plant and Ground Cover Materials - Show quantity, type, size and location of material

#### b. Final Plans:

- All above information with appropriate revisions.

### 4. Building Plans

The minimum information required for each stage of the review process is as follows:

#### a. Schematic: Information required may be shown on site plans for this phase, in lieu of a separate building plan.

- Project Name, Architect, Lot Owner, Date and Sheet Number
- North Arrow
- Floor Plan Scale at 1/8" = 1'-0" min.
- Building Data: Type and use, number of seats when applicable, building area (by use)
- Elevations (any available three-dimensional drawings)
- All proposed signage on building
- Samples of actual materials to be used reflecting accurate colors

#### b. Final Plans:

- All above information
- Final construction documents (including specifications)
- Name and address of Owner's agent responsible for implementation of the construction



## 5. Signage

The minimum information required for each stage of the review process is as follows:

### a. Schematics:

- Plan showing size and location of all proposed signs. The Lot Owner shall be fully responsible for conforming to all applicable ordinances
- Elevation showing all dimensions, material, colors, and method of illumination
- Photographs of identical or similar signs from previous projects, if available

### b. Final Plans:

A Final Plan submission is not necessary for the Signage portion of the documents. All signs must conform to the designs as approved.

## 6. Maintenance

The Owner shall, at all times and at their own expense, keep their Lot, in a well maintained and attractive condition. Such maintenance includes, but is not limited to, the following:

- Prompt removal of all litter, trash, refuse and wastes
- Keeping all landscaping alive, weed-free and attractive
- Keeping exterior lighting and mechanical facilities
- Keeping parking areas, driveways, and roads clean and in good repair
- Complying with all government health and safety requirements
- Striping of parking areas and repainting of improvements
- Repair of exterior damage to improvements

## 7. Enforcement

If any Owner fails to maintain its Lot in accordance with the foregoing in such manner as may be deemed necessary by the Committee to preserve and protect the value and attractive appearance of the Lot, then the Committee may give such Owner written notice stating with particularity the work or repair which the Committee finds to be required and requesting the same be carried out or undertaken and diligently pursued within the period as specified in the Covenants, Conditions, and Restrictions for Whitehall. Should Owner fail to carry out or undertake such maintenance and repair, then the Committee, through its authorized agent or agents, shall have the right and power to enter onto the Lot and perform such care and maintenance without any liability for damages for wrongful entry, trespassing or otherwise to Owner and Owner shall be liable for the cost of such work and shall promptly reimburse the Committee for such cost.





**C. Authority**

These Guidelines are required by the Development Standards for Whitehall Accompanying Rezoning Petition-94-11(C), approved by the Mecklenburg Board of County Commissioners on April 18, 1994 and are established by the Architectural Design Committee (the "Committee") pursuant to the Declaration of Covenants, Conditions and Restrictions for Whitehall (the "Declaration"). Any capitalized terms in these Guidelines not defined herein shall have the same meaning as more specifically set out in the Declaration. The Committee reserves the right to amend any or all provisions of these Guidelines as appropriate at anytime, and from time to time, in its sole and absolute discretion. These Guidelines are in addition to specific construction and landscaping requirements set out in Article VII of the Declaration.

**D. Applicability to All Lots**

As to any Lot in Whitehall, no improvements may be commenced, erected or maintained until the Committee has given its written approval of Final Plans pursuant to the criteria listed below.

These Guidelines shall apply to all Owners and builders at Whitehall, and any reference here to an "Owner" shall also apply to the Owner's builder, subcontractors, or agents.

**E. Advisory Design Professionals**

The Committee may retain an Architect and/or other design and construction professionals to advise the Committee in the plan review and approval process. Lot Owners and builders may wish to consult with these professionals on a preliminary, informal basis with questions about the design intent of these Guidelines and their application to the overall design or design features of buildings and landscaping.

Since these professionals will be advisors only, their views and opinions will be considered by, but will not be binding on, the Committee.

**F. Definition of "Improvements"**

The term "Improvements" shall mean and include any and all man-made changes or additions to a Lot, including but not limited to, the location, materials, size and design of all buildings (including any exterior pieces attached to or separate from buildings, such as heating and air conditioning equipment, roofed structures, parking areas, fences, walls, landscaping [including cutting of trees], hedges, mass plantings, poles, driveways, ponds, changes in grade or slope, site preparation, signs, exterior illumination and changes in any exterior color or shape). The definition of Improvements includes both original Improvements and all later changes to Improvements. However, the definition of Improvements does not include the replacement or repair of Improvements previously approved by the Committee, provided that such replacement or repair does not change exterior colors, materials, designs or appearances from that which were previously approved by the Committee.



**G. Design Standards**

The following statements and standards shall be explanatory and illustrative of the general intent of the development of Whitehall, and are intended as a guide to assist the Committee in reviewing preliminary plans, the Final Plans and other submittals.

**H. Liability of Declarant & Committee**

Neither Declarant nor the Committee shall be responsible for any losses or damages arising out of the construction of the improvements permitted under these Guidelines, nor shall the Committee's approval of any plans, specifications or other submissions be deemed a representation or warranty by the Committee or its agents regarding the design, materials, or any other aspect of the developments depicted in such submissions.

**I. Zoning & Other Governmental Regulations**

In addition to complying with the requirements imposed by this Declaration, the Owner of any Lot must comply with all zoning and other applicable governmental laws, rules and regulations. Approvals by the Committee pursuant to these Guidelines shall in no event be construed as representations or warranties that the Owner's plans, Final Plans or Improvements comply with any such governmental requirements.



## V. APPENDIX

### A. List of suggested plant materials:

#### 1. Columnar Trees - Line Planting

Foster Holly <i>Ilex 'Fosteri'</i>	Leyland Cypress <i>Cupressus cypriss 'Leylandii'</i>
Red Cedar <i>Juniperus virginiana</i>	Columnar Red Maple <i>Acer rubrum 'columnare'</i>
Sentry Maple <i>Acer saccharum 'temple's Upright'</i>	Columnar European Hornbeam <i>Carpinus betulus 'columnaris'</i>
Claudia Wannamaker Southern Magnolia <i>Magnolia grandiflora 'Claudia Wannamaker'</i>	
Yoshino Cryptomeria <i>Cryptomeria japonica 'Yoshino'</i>	

#### 2. Large Trees - Individual Planting

Allee Lacebark Elm <i>Ulmus parvifolia 'Allee'</i>	American Plane Tree (sycamore) <i>Platanus occidentalis</i>
Black Gum <i>Nyssa sylvatica</i>	Weeping Willow <i>Salix babylonica</i>
Overcup Oak <i>Quercus lyrata</i>	Red Sunset Maple <i>Acer rubrum 'Red Sunset'</i>
Sawtooth Oak <i>Quercus acutissima</i>	Willow Oak <i>Quercus phellos</i>

#### 3. Small Trees - Grove and Street Planting

American Hornbeam <i>Carpinus caroliniana</i>	Bald Cypress <i>Taxodium distichum</i>
Cumulus Serviceberry <i>Amelanchier laevis 'Cumulus'</i>	Golden-Rain Tree <i>Koelreuteria paniculata</i>
Redbud <i>Cercis canadensis</i>	River Birch <i>Betula nigra</i>
Village Green Zelkova <i>Zelkova serrata</i>	Kousa Dogwood <i>Cercis canadensis</i>

#### 4. Shrubs - Screen and Accent Planting

Doublefile Viburnum <i>Viburnum tomentosum 'Doublefile'</i>	Flowering Quince <i>Chaenomeles speciosa</i>
Glossy Abelia <i>Abelia grandiflora</i>	Japanese Rose <i>Rosa multiflora</i>



Leatherleaf Mahonia  
*Mahonia bealei*

Pussy Willow  
*Salix caprea*

Schipka Laurel  
Prunus laurocerasus 'Schipkaensis'

Witch Hazel  
*Hamamelis virginiana*

5. Shrubs - Hedgerow Planting

Japanese Rose  
*Rosa multiflora*

Winter Honeysuckle  
*Lonicera fragrantissima*

Beauty Bush  
*Kolkwitzia amabilis*

Cockspur Thorn  
*Crataegus crus-galli*

Vanhoutte Spirea  
*Spirea vanhouttei*

Thorny Elaeagnus  
*Elaeagnus pungens*

Wax Myrtle  
*Myrica cerifera*

6. Grasses - Accent Planting

Golden Aster  
*Chrysopsis mariana*

Pampas Grass  
*Cortaderia argentea*

Goatsbeard  
*Aruncus dioicus*

Prairie Phlox  
*Phlox pilosa*

Cotton Grass  
*Eriophorum latifolium*

Scotch Broom  
*Cystisus scoparius*

White Boltonia  
*Boltonia asteroides*

7. Grasses - Meadow Planting

Feather Reed Grass  
*Calamagrostis arundinacea*

Fountain Grass  
*Pennisetum setaceum 'rubrum'*

Foxtail Barley  
*Hordeum jubatum*

Bend Love Grass  
*Eragrostis trichoides 'bend'*

Big Bluestem  
*Andropogon gerardii*

Side Oats Gramma  
*Bouteloua curtipendula*

Switch Grass  
*Panicum virgatum*

Indian Ricegrass  
*Oryzopsis hymenoides*

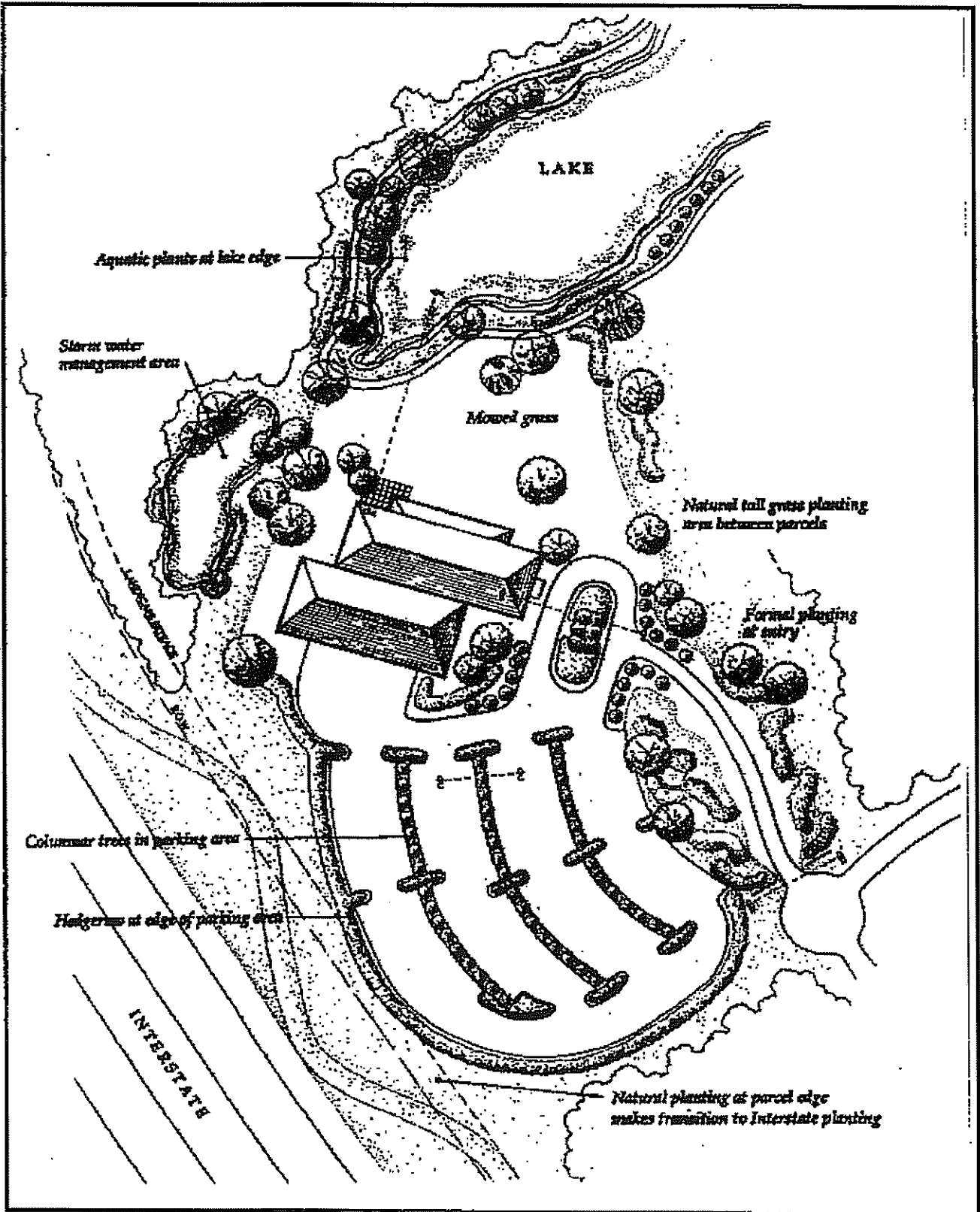
Flame Grass  
*Miscanthus sinensis 'purpurascens'*

Blue Gramma  
*Bouteloua gracilis*

Tufted Hairgrass  
*Deschampsia caespitosa*

Finger Grass  
*Chloris virgata*

Indian Grass  
*Sorghastrum nutans*



Proposed Site Plan & Landscape Scheme for Corporate Parcel



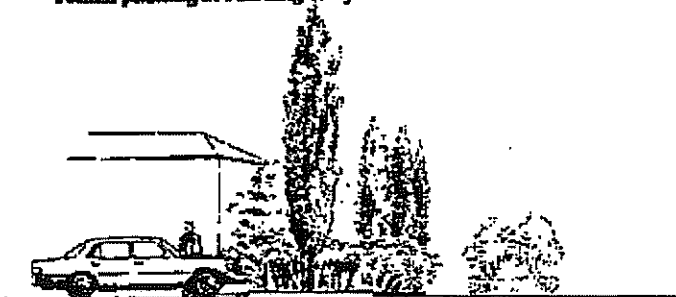
Transition from building to lawn to lakeside planting

SECTION A



Formal planting at building entry

SECTION B



Columnar planting with grasses in parking area

SECTION C



Shrubs and grasses with monumentation at parcel entry

SECTION D

### Sections Thru Typical Corporate Site